



City of Arvada

Design Review Advisory Committee

Agenda

OCTOBER 16, 2025

Info: 720-898-7435

Members:

Debbie Pearson, Olde Town Residents Representative
Scott Spears, Business Owner Representative
William Cheever, At-Large Representative
Danielle Vorthmann, At-Large Representative
Fong Lee, At-Large Representative
Peter Kazura, Olde Town BID Representative
Steve Byers, Arvada Historical Society Representative

Staff Members Usually Present:

Jessica Garner, Dir. of Community and Econ Development
Kelsy Sargent, Senior Assistant City Attorney
Rob Smetana, Planning Manager
Claudia Vaughan, Manager of Development Engineering
Josie Suk, Systems and Administrative Manager
Heidi Van Gieson, Administrative Specialist
Dixielee Rodriguez, Administrative Specialist

CITY COUNCIL CONFERENCE ROOM

9:00 AM

1. CALL TO ORDER
2. ROLL CALL OF MEMBERS
3. APPROVAL OF MINUTES
 - A. Approval of June 26, 2025 Meeting Minutes
4. APPLICATIONS
 - A. Certificate of Compliance with Design Guidelines for Arvada Library Renovations located at 7525 W 57th Ave
5. OTHER ITEMS
6. ADJOURN



**DESIGN REVIEW COMMITTEE
SUMMARY OF MEETING MINUTES
June 26, 2024
AT 9:00 A.M.**

Design Review Committee minutes are not an exact transcript and represent key points and the basis of discussion.

DUE TO TECHNICAL DIFFICULTIES WE DO NOT HAVE WHAT EACH INDIVIDUAL STATED DURING THE MEETING.

1. **CALL TO ORDER** – 9:04 A.M.
2. **ROLL CALL OF MEMBERS** –William Cheever, Fong Lee, Peter Kazura, Steve Byers, Danielle Vortmann, Scott Spears, Steve Byers

THOSE ABSENT: Debbie Pearson

3. **MOTION - To excuse absent members**

It was moved by Mr. Kazura to excuse the absence of Debbie Pearson, and Steve Byers.

The following votes were cast on the motion:

Those voting Yes: Cheever, Kazura, Lee, Vorthmann, Spears, Byers

Those voting No: None

Those absent: Pearson

The motion carried 6-0

ALSO PRESENT: Jessica Garner, Director of Community and Economic Development; Rob Smetana, Manager of City Planning and Development; Kelsy Sargent, Sr. Ass't. City Attorney; Josie Suk, Systems and Administrative Manager; Maki Boyle, Senior Landscape Architect; Nathaniel Gonzalez, Planner I; Dixielee Rodriguez, Recording Secretary; Heidi Van Gieson, Development Technician I

4. **APPROVAL OF MINUTES FOR** – February 15, 2024 - Minutes are approved as printed.
5. **PUBLIC COMMENT**
None
6. **APPLICATIONS**

DA2025-0008- 7611 Grandview Ave - Certificate of Compliance with Design Guidelines to add a new detached canopy.

Nathaniel Gonzales, Senior Planner, stated that the applicant will present the case.

John Matthews and Brad Eichman (MA Architects) and Nick Price (Owner of Post Oak Barbecue) - spoke on the presentation for the site and the new detached canopy, providing weather cover and shaded seating. Separate outdoor bar made from a prefabricated steel container intended for public art/murals.

COMMITTEE DISCUSSION

Mr. Cheever opens for discussion

The Committee: They have concerns about the canopy's thickness and visual weight - their preference expressed is for a lighter more transparent appearance. They also made a suggestion to use wood or lighter colored natural materials on the underside of the canopy.

Response from Applicant: stated they have endeavored to lighten up the structure as much as they could and have some requirements relative to that space. Also stated that sections of steel that will stay but they have not fully determined what the underside would be. Open to a wood product potentially. Likely a more rustic appearance.

The Committee: asked about integration of heaters, fans and lights and how they would appear.

Response from Applicant: stated there will be strip heaters that will be flush. and flush-mounted heating and lighting to minimize visual clutter. Also stated these are items that will be addressed at final design. Also stated there will be a couple of ceiling fans but primary lighting will be can lights. Potential roll-down transparent sides for winter use. These are items that will be addressed at final design.

The Committee: asked the applicant to consider raising the canopy slightly (an additional 6-18 inches) to allow building features, especially the parapet, to remain visually prominent and to introduce natural light for a less "boxed" effect. Also recommended for clean, minimal industrial and thin-profile finish on the canopy underside.

Response from Applicant: confirmed their intent to flush-mount heating and lighting to minimize visual clutter.

The Committee: request clarification on the planned window and door modifications?

Response from Applicant: stated one window will be converted to a doorway for restaurant operations; most of the historical windows will be retained. The existing garage door will be replaced with modern storefront emulating the traditional look and will be painted to match historic colors.

The Committee: concerns were raised regarding the use of visible corrugated metal for the bar structure, given Old Town's precedent and the risk of setting future undesirable standards. Feel the structure should be finished in brick or appropriately weather barn wood, possibly with mural art, to integrate with neighborhood character.

Response from Applicant: the bar structure would be classified as a “temporary” structure, but they acknowledge that visual standards must still be maintained.

The Committee: suggested to honor the site’s historic use as a gas station, to incorporate related artifacts or references (window signage, branding, interior displays) to celebrate site history.

Response from Applicant: again states this is not a permanent structure, blocks building to the east. The container can be used as a display for public art.

The Committee: asked about code compliance for reusing doors/windows, R-value/energy issues and compatibility with City allowances.

Response from Applicant: there are challenges of the site with the small existing footprint requiring carefully planned entry and exit flows along with the kitchen placement. Design will be tight.

Mr. Kazura disclosed his position on AURA Board and as an owner of a nearby property at 7714 Grandview but abstains from any bias or conflict of this matter.

MOTION

It was moved by Mr. Cheever to recommend a full waiver approved with full waivers for Design Guidelines based on the determination that criteria on page(s) 4 through 15 of the staff report apply and that to all other applicable design guidelines, the application be found in compliance there within.

It was moved by Mr. Kazura in a motion to approve a conditional approval for 5.2, 5.6, and 5.8 of page(s) 12 through 14 of the staff report, with staff recommendations in light of stopping the edges rounding edges and minimizing the impact of the canopy be considered .

DISCUSSION ON MOTION

The Committee discussed the following waiver requests and suggested recommendations:

- Alteration to windows and garage door for functional requirements.
- Use of non-brick materials for exterior bar structure.
- Canopy design not strictly aligned with historic design standards (due to functional, contemporary restaurant need).

The following votes were cast on the motion:

Those voting Yes: Cheever, Kazura, Lee, Vorthmann, Spears, Byers

Those voting No: None

Those absent: Pearson

The motion carried 6-0

No additional meetings on this item unless substantial redesigns emerge.

7. **OTHER ITEMS**

Informational presentation on Yukon Streetscape. Streetscape enhancements aim to “set the stage” for broader Old Town Improvements (with Old Wadsworth to follow as funding allows). Upgrades include materials, furnishings, increased street trees, improved pedestrian amenities, and design continuity with overall Old Town vision. The west side of Yukon is more complex, but focus is on the east side improvements for now. The streetscape work will directly impact and complement the Post Oak project discussed earlier.

Future updates on Yukon streetscape improvements to be provided as projects develop, as part of Old Town Arvada Strategic Plan implementation.

8. **ADJOURN – 10:24 A.M.**

William Cheever, Vice Chair

Scott Spears, Secretary

Dixielee Rodriguez, Recording Secretary



REPORT TO DESIGN REVIEW ADVISORY COMMITTEE

AGENDA ITEM
4.A.

TO: DESIGN REVIEW COMMITTEE

DATE: October 16, 2025

SUBJECT: Certificate of Compliance with Design Guidelines for Arvada Library Renovations located at 7525 W 57th Ave

Motion

Motion: Moved By:

That as to Certificate of Compliance with Design Guidelines for the Arvada Library Renovations located at 7525 W 57th Ave, and the following recommendation be adopted and transmitted to the Community & Economic Development Director:

OPTIONS:

(1) ___ That the application be found in compliance with all applicable Design Guidelines set forth in the Design Guidelines for Olde Town Arvada.

2) ___ That a partial waiver be granted from Design Guidelines 4.23, 5.5, and 7.15 based on a determination on Page(s) 14-16 of the staff report.

AND that, as to all other applicable Design Guidelines, the application be found in compliance therewith.

(3) ___ That a full waiver be granted from the Design Guidelines because: subparagraphs from 8-3-5-4 of the LDC)

(4) ___ That the application be denied as failing to comply with the following specific Design Guideline(s), with no Waiver being appropriate (cite guideline).

Prepared by:
Dixielee Rodriguez, Administrative Specialist

Reviewed by:

Approved by:

| | |
|--|------------|
| Christopher Sandine, Planner II | 10/09/2025 |
| Rob Smetana, Planning Manager | 10/09/2025 |
| Kelsy Sargent, Assistant City Attorney | 10/10/2025 |
| Jessica Garner, Director of Community and Economic Development | 10/13/2025 |

Enclosure, exhibits & attachments required to support the report

City of Arvada
Community and Economic Development Department
CCDG STAFF REPORT

Arvada Library Renovation (JCPL)
7525 W. 57th Avenue
DA2025-0047

NATURE OF REQUEST

The applicant, EUA Architects, representing Jefferson County Public Library, has requested a Certificate of Compliance with the Design Guidelines in order to construct exterior improvements that will support a full interior renovation to better meet the needs of the community, library staff, and improve safety and security on site. Over the past year, the applicant has held several open houses with the public to help visualize how the Arvada Library can be transformed into a space that is safer and more welcoming to the community. City staff attended one of the community meetings and emphasized coming up with a design that focused on safety and activation of areas within the library that have been problematic, including suggestions on how to design the entrances along the southern and western sides of the building. City staff further encouraged the applicant to consider how the redesign will expand the activation and overall utility of Olde Town Square. The proposed redesign is the result of these key discussions with the public and key stakeholders on how to make the Arvada Library an inviting space for the community.

Proposed exterior improvements include the installation of an approximately 700 square foot addition underneath an existing second floor overhang on the southwest corner of the site, extended to the property line along West 57th Avenue. Currently at this location there is an existing retaining wall and ramp that will be demolished to allow for the new exterior wall. Red brick will be installed on the addition to match the existing red brick on the façade. The main entryway will be shifted further east along the south façade and feature a new entry canopy and new automatic sliding doors. The previous entrance will be patched with brick and covered with a permanent graphic wall panel. Six (6) new bicycle spaces will be provided near the main entrance. Several second-floor window openings will be expanded and enlarged, while being further enhanced with a projected metal surround. Three (3) new metal cut letter signs are proposed on the south, east, and west facades to provide better visibility. The existing non-functional clock at the southeast corner of the building is set to be removed and replaced with new glass to match the existing glazing. Lastly, a 3'-6" metal fence is proposed to enclose the outdoor space along Olde Town Square. The applicant intends to utilize this controlled space as a community outdoor area that also interacts with the abutting Olde Town Square. A portion of the proposed fence encroaches onto the City of Arvada property, which will require a separate revocable license from City Council.



Existing South Elevation (2025)



Existing Southwest Elevation (2025)



Proposed South Elevation



Proposed Southwest Elevation

HISTORY OF THE SITE

The site is located on the northwest corner of West 57th Avenue and Webster Street. The original building was constructed circa 1945 by Ralph Ashton, Sr., a prominent Arvada businessman. Historical records show the one-story rectangular commercial building, known as the Ashton Building, operated several different businesses, including a machine shop and a general grocery store (including the first King Soopers). However, the Ashton Building was listed as non-contributing to the Arvada Downtown Historic District and demolished in 2006, making way for the construction of the current Arvada Public Library.

According to the 2013 Colorado Cultural Resources Survey, the existing building is not eligible for local landmark designation and does not meet the criteria for listing on the National Register of Historic Places. If the Arvada Downtown Historic District boundaries

were altered, this property would be considered non-contributing. It was recommended that the building be reevaluated when it reaches 50 years of age.

LAND USE ACTIVITY SUMMARY

The applicant is proposing to:

- 1) Construct an approximately 700 square foot addition underneath an existing second floor overhang on the southwest corner of the site. The addition will be clad with red brick to match the existing brick on the building;
- 2) Relocate the entrance canopy further east on the southern façade and install new automatic sliding entrance doors;
- 3) Infill the existing entryway and cover it with a permanent graphic wall panel;
- 4) Enlarge several existing window openings and install metal surrounds;
- 5) Install new bike racks near the front entrance;
- 6) Install new metal cut letter signage on the south, east, and west façade;
- 7) Install a new 3'-6" metal fence along the western edge of the outdoor space, which will require a revocable license from the City of Arvada for partially encroaching onto Olde Town Square;
- 8) Remove the existing non-functional clock from the southeast corner of the building;
- 9) Remove existing louver sunshade system along the southern façade;
- 10) Remove several windows and doors on the facade, infilling them with brick to match the surrounding building material.

COMPLIANCE ANALYSIS

The Arvada Public Library was constructed in 2006 and is considered a non-contributing building that follows the "New Building Track".

The design guidelines applicable to this project are evaluated in the following discussion.

Chapter 4. Design Guidelines For All Projects

Connectivity

4.3 Provide convenient vehicular, pedestrian and bikeway connections among abutting properties.

- Create an internal circulation system that will link those of adjacent properties, when feasible.

No changes to vehicular parking or access are proposed with this application. Bike racks will be provided near the main entrance. Pedestrian connectivity will be enhanced by shifting the main entrance along W. 57th Avenue to a recessed wall setback from the property line. Outdoor enhancements are being made along the west facing Olde Town Plaza and additional windows will be provided along this façade to strengthen the connection between the plaza and the library.

Outdoor Amenity Space

4.4 Outdoor amenity space should meet all of the following requirements:

- Be open to the sky
- Be paved or otherwise landscaped
- Remain subordinate to the line of building fronts

The existing outdoor space west of the library, facing Olde Town Square will be open to the sky and paved. The proposed fence will be subordinate to the building front as it does not project past the primary building façade and is an open fence material.

Public Art

4.8 The use of public art is encouraged.

- Incorporate art that complements the context and character into streetscapes or building elements.
- Strategically place public art at civic facilities to serve as accents.

No public art is planned; however, metal wall panels with custom graphics are proposed to be installed along the south wall to engage pedestrians and draw them to the main entrance. The graphics are still under development, but the elevations show the location for reference. The intent is for this to be a permanent installation, not a temporary or rotating display.

Site Lighting

4.15 Shield lighting to prevent off-site glare.

- Light fixtures should incorporate cut-off shields to direct light downward.
- Luminaires (lamps) shall not be visible from adjacent streets or properties.
- Shield fixtures to minimize light spill onto adjacent properties and into the night sky.

All proposed site lighting fixtures are dark sky compliant. The wall-washing light fixtures proposed along the southwest corner / addition walls are facing downward and wash a portion of the façade; specifically at the first level only along the new exterior masonry walls.

4.16 Provide lighting for a pedestrian way that is appropriately scaled to walking.

- Mount lights for pedestrian ways on short poles or consider using light posts (bollards).

Existing street pedestrian lights will remain. Downlighting is provided in the new entrance canopy. A wall-washing light fixture is shown at the new level 1 addition to further light the pedestrian sidewalk at the southwest corner.

4.17 Light fixtures should be in character with the setting.

- Fixtures should be compatible with architectural and site design elements.

All proposed new light fixtures are simple and contemporary in design, fitting the character of the Arvada Library building.

Building Lighting

4.18 Use lighting to accent:

- Building entrances
- Signs

Proposed new lighting is intended to accent the relocated building entrance and provide a wall-washing affect on the new southwest addition at the first-floor. Existing lighting to

remain includes: pedestrian street lights and exterior building lighting along north and east facades.

4.19 Minimize the visual impacts of architectural lighting.

- Use exterior light sources with a low level of luminescence.
- Use white lights that cast similar color to daylight.
- Do not wash an entire building façade in light.
- Use lighting fixtures that are appropriate to the building and its surroundings in terms of style, scale and intensity of illumination.

Proposed new fixtures area dark sky compliant.

4.20 Use shielded and focused light sources to prevent glare.

- Provide shielded and focused light sources that direct downward.
- Do not use high intensity light sources or cast light directly upward.
- Shield lighting associated with service areas, parking lots and parking structures.
- Avoid excessive light spill from buildings.

Proposed new fixtures are shielded and will prevent glare.

Building Equipment

4.23 Minimize the visual impacts of building equipment on the public way and the surrounding neighborhood:

- Screen equipment from view.
- Do not locate equipment on a primary façade.
- Use low-profile or recessed mechanical units on rooftops.
- Locate satellite dishes and mechanical equipment out of public view.

Not applicable; the existing air handling unit inside the enclosure along the alley will be replaced, but the overall height of the equipment will match the existing. The new equipment and associated ductwork will be painted to blend with the exterior brick façade.

Awnings and Canopies

4.26 A fixed metal canopy may be considered.

- Appropriate supporting mechanisms are wall mounted brackets and chains consistent with the style of the building.

A fixed metal canopy is proposed at the new main entrance.

4.27 An awning or canopy should be in character with the building and streetscape.

- Mount an awning or canopy to accentuate character defining features. In most cases, the awning or canopy should fit in the opening of the building.
- Use colors that are compatible with the overall color scheme of the facade. Solid colors are encouraged.
- Simple shed shapes are appropriate for rectangular openings. Odd shapes, bullnose awnings and bubble awnings are inappropriate.
- Internal illumination of an awning is inappropriate.
- Awnings should remain a subordinate feature on the facade, where they are used.

- Generally, post supported canopies are inappropriate on Olde Town commercial buildings.

The proposed metal canopy is compatible with the existing contemporary building design style and will replace the existing metal canopy.

Color

4.28 The facade should “read” as a single composition.

- Employ color schemes that are simple in character.
- Using one base color for the building walls and another for the roof is preferred.
- Using one to three accent colors for trim elements is also preferred.

The proposed addition will enclose an existing second floor overhang. This proposed massing reads as continuous with the existing composition of the building.

4.29 Base or background colors should be muted.

- Building features should be muted, while trim accents can be either a contrasting color or a harmonizing color.
- An accent color should not contrast so strongly as to not read as part of the composition.
- Bright high-intensity colors are not permitted.
- Use matte or low luster finishes instead of glossy ones.
- Generally, non-reflective, muted finishes on all features is preferred.

New exterior materials will include brick to match the existing and metal panel surrounds at the enlarged second-floor windows which will now project slightly from the façade to create window seats.

4.30 Building elements should be finished in a manner similar to that seen traditionally. The following are recommended treatments:

- Brick and stone: unpainted, natural color
- Window frames and sash, doors and frame and storefronts: wood - painted; metal - anodized or baked color
- Wood siding: painted
- In most cases, highly reflective materials, weathered wood and clear finishes are inappropriate on large surfaces. A clear finish is appropriate on a wood entry door.

The new addition will be clad in unpainted brick to match the existing red brick on the building. All new windows will have a clear anodized aluminum finish (like the existing storefront).

Landscape

4.33 Use landscape designs that are appropriate to the character and climate of the district.

- Consider plant materials used traditionally, such as native and established species.
- Select plant and tree species according to their mature size to allow for the long-term impact of mature growth.
- Do not cover a front yard with gravel or rock.
- Use plant species that require low levels of water.

There is an existing planter area along the west property line which appears to be missing shrubs that were originally in place. Proposed changes include planting back the shrubs that have been lost.

Streetscape

4.36 The use of a coordinated set of streetscape and planting improvements is encouraged.

- Consider the design context when determining sidewalk improvements.
- Consider the area's development density context when determining sidewalk widths.

No changes proposed along the streetscape beyond replacement of trees in poor health or whose canopy is blocking pedestrian movement. Refer to Tree Survey.

4.37 Use plantings that are appropriate to the region and the streetscape environment.

- Avoid species that require significant maintenance and care.
- Streetscape landscaping should consist primarily of shade trees

Trees and shrubs specified are local to the region and have low water needs.

Site Furnishings

4.41 The use of site furnishings is encouraged.

- Incorporate site furnishings to complement the context and character of the building, site and/or streetscape.
- All materials should be durable, and have high quality finishes.

Existing site furnishings around the perimeter to remain, new bike racks will be provided.

Chapter 5. New Construction

Architectural Character

5.1 Design a new building to reflect its time, while respecting key features of its context.

- See guidelines for the design of new commercial, civic and residential building types.
- In the Arvada Downtown Historic District, relating to the context is especially important.
- In the overall Olde Town area, respecting broader traditional development patterns is important.

Proposed modifications are of their own time and compatible with the existing non-historic building design.

5.2 Contemporary interpretations of traditional designs and details may be considered.

- New designs for window moldings and door surrounds, for example, can provide visual interest while helping to convey the fact that the building is new.

- Contemporary details for new storefronts also can be used to create interest while expressing a new, compatible style.

Proposed enlarged second-floor window openings project from the façade like a modern bay window while still using the materials found elsewhere in the existing building like clear anodized aluminum. This is similar to one of the sample images indicated as a good example on page 111 of the Design Guidelines.

5.3 The exact imitation of older historic styles is discouraged for newer structures.

- This blurs the distinction between old and new buildings and makes it more difficult to visually interpret the architectural evolution of the district.
- An interpretation of a historic style that is authentic to the district may be considered if it is subtly distinguishable as being new.

Proposed alterations are not replicative of historic architectural styles.

Building Orientation

5.5 Buildings oriented to a plaza should invite pedestrian activity.

- Orient a building entrance to face the plaza.
- Provide a storefront or pedestrian-friendly facade.
- Consider providing an outdoor dining area.

The existing outdoor space along the west side of the Library facing Olde Town Square is not well used so the proposed modifications aim activate this area and further strengthen the connection between the Library and Olde Town Square by creating outdoor patio spaces for patrons.

Materials

5.6 Building materials shall be similar in scale, color, texture and finish to those seen historically in the context.

- Traditional materials, including wood and brick, are preferred.
- All wood siding should have a weather-protective finish.
- Stucco may be considered for smaller residential building types or as an accent on larger buildings.
- Imitation or synthetic materials, such as aluminum or vinyl siding, imitation brick or imitation stone and plastic, are inappropriate.
- The use of highly reflective materials is discouraged.

New first-floor addition in the southwest corner will be clad in brick to match the existing building's red brick; this material is typical for the historic district.

5.7 Use masonry that appears similar in character to that seen historically.

- For example, brick should have a modular dimension similar to that used traditionally.

New brick will match the existing building brick in color and scale.

5.9 Establish a sense of human scale in the building design.

- Use vertical and horizontal articulation design techniques to reduce the apparent scale of a larger building mass.
- Incorporate changes in color, texture and materials to help define human scale.
- Use architectural details to create visual interest.
- Use materials that help to convey scale in their proportion, detail and form.
- Avoid long, featureless walls not broken up by architectural elements such as windows and doors.

New first-floor addition features windows along the south façade to bring a human scale to the street. A subtle step in the brick will differentiate the first-floor façade from the second-floor façade which overhangs the first-floor today. The enlarged second-floor windows proposed also bring a more human scale to the otherwise monolithic wall expanses that are existing.

Energy Efficiency in New Designs

5.11 Design a building, or an addition, to take advantage of energy saving and generating opportunities.

- Design windows to maximize daylighting into interior spaces.
- Use exterior shading devices to manage solar gain in summer months.
- Energy-producing devices, including solar collectors and wind turbines, are encouraged where they also respect the character of Olde Town. Use vertical and horizontal articulation design techniques to reduce the apparent scale of a larger building mass.

Proposed façade changes will maximize daylighting to interior spaces.

Civic Facilities

5.46 Civic buildings should reflect basic urban design principles in their designs.

- Civic facilities should be located such that they encourage pedestrian traffic to nearby businesses.
- Civic facilities should be designed to reinforce the downtown fabric of streets, public spaces and sidewalks.
- Outdoor spaces designed for public use should be provided.
- The visual impacts of automobiles should be minimized.
- Primary entrances should face the street or a public space, not to parking lots.
- A sense of human scale should be conveyed.
- Civic facilities should provide a pedestrian-friendly street level.
- Civic facilities should reflect the design guidelines for mass, scale and materials for commercial building types.

The Arvada Library is referenced as a good example of contemporary civic building design. The proposed exterior alterations are designed to be compatible with the existing contemporary design- following the existing building proportions and matching exterior building materials.

5.47 Civic buildings should reflect basic urban design principles in their designs.

- The edges of a civic property should be inviting to pedestrians.
- Convenient pedestrian connections should be provided.
- Adjacent historic resources should be integrated.
- A balance of landscape and hardscape elements should be provided.
- Civic spaces should include streetscape furnishings, such as lighting, benches and public art.
- A sense of human scale should be conveyed.
- Transit plazas should facilitate pedestrian flow.
- Civic space should be appropriately scaled to Olde Town. Significant view corridors should be maintained.
- Civic facilities should be located such that they encourage pedestrian traffic to nearby businesses.

The proposed alterations include an addition at the southwest corner and the enclosure to create an outdoor community space along the west side will make that building edge much more inviting. Existing view corridors have been maintained.

Chapter 6. Guidelines for the OT-W Subdistrict

Site Plan Design Guidelines

6.4 Building setbacks should correspond to the specific building type.

- The bulk of the facade for a mixed-use building should be located at the sidewalk edge, with no setback.
- The front wall of a multifamily building type should have a modest setback from the property line to allow for a small yard.

No change to building setbacks. The proposed addition is compliant with the setback requirements.

Building Design Guidelines

6.6 Provide a “pedestrian-friendly” street level.

- Use these features at the street level: – Architectural detailing – Primary entrance facing the street – Storefront on mixed-use building types – Porch entry/stoop with landscaping for individual units on multifamily building types.
- Additional features that are encouraged: – Recessed entry – Canopy – Plaza/Courtyard accent.

The new primary entrance will now be recessed and is still facing the street, a canopy will be provided at the entrance, existing storefront will remain, and the addition includes new window openings facing the sidewalk for further activation to the pedestrian space.

Chapter 7. Signs

7.4 A sign should be subordinate to the overall building composition.

- Design a sign to be simple in character.
- Locate a sign to emphasize design elements of the facade itself.
- Mount a sign to fit within existing architectural features using the shape of the sign to help reinforce the horizontal lines of the building.
- All sign types should be subordinate to the building and to the street.

Signs are subordinate to the building in scale and placement.

7.5 Use sign materials that are compatible with the architectural character and materials of the building.

- Use permanent, durable materials that reflect the Arvada context. Such materials may include painted or carved wood, individual wood or cast metal letters or symbols, stone such as slate, marble or sandstone, and painted, gilded or sandblasted glass. Consider using a metal sign if it is appropriate to the architectural character of the building. Do not use highly reflective materials on a sign.
- Consider using a metal sign if it is appropriate to the architectural character of the building.
- Do not use highly reflective materials on a sign.

All signs will be individually cut aluminum letters with a powder-coated finish, color to be determined. This is compatible with the contemporary design of the existing non-contributing building.

7.7 Use colors that contribute to legibility and design integrity.

- Limit the number of colors used on a sign. In general, no more than three colors should be used, although accent colors may also be appropriate.

Existing wall signs on east and west facades are painted colors that blend in with the masonry walls; new powder-coated finish of signs will be selected in a contrasting color to the brick to enhance legibility.

7.8 Use a simple typeface design.

- Avoid hard-to-read or overly intricate typefaces.
- Use a typeface that is similar to traditional typefaces in the area when possible.
- Use no more than two or three distinct typefaces on a sign.

Simple typeface has been selected.

7.9 Where used, include a compatible, shielded light source to illuminate a sign.

Signs will not be illuminated.

Awning and Under Canopy Signs

7.11 Use an awning or under canopy sign in areas with high pedestrian use.

Given the high pedestrian use at the site a canopy sign will be provided above the new canopy.

Wall Sign

7.15 Place a wall sign to be relatively flush with the building facade.

- Design a wall sign to minimize the depth of a sign panel or letters.

- Design a wall sign to fit within, rather than forward of, the fascia or other architectural details of a building.

Wall signs will be provided on the west and east facades, replacing the existing wall signs featured on these facades. They will be aluminum cut letters that are flush with the building façade.

CERTIFICATE OF COMPLIANCE SUMMARY

Section 8-3-5-4 of the Land Development Code establishes that the Design Review Advisory Committee considers the applications and makes recommendations to the Community Development Director. Such action could include approval, approval with conditions, waiver or partial waiver from the requirements, or denial.

A waiver may be granted based upon a determination of any one of the following criteria:

1. The proposed land-use activity is of a nature that will not substantially alter, or erode the authenticity of, any historically significant exterior feature of an existing structure and is compatible with both the distinctive characteristics of the Arvada Downtown Historic District or Olde Town Zoning District, or the Reno Park Design Guidelines Project Area, as applicable, and with the intent and purpose of the applicable Design Guidelines;
2. The proposed land-use activity is of a nature that will not undermine, impair, or conflict with the intent of the applicable Zoning District, and is compatible with both the distinctive characteristics of the Arvada Downtown Historic District, Olde Town Zoning Districts, or Reno Park Design Guidelines Project Area, as applicable, and the intent and purpose of the applicable Design Guidelines;
3. Strict compliance with the Design Guidelines would create an economic hardship, such that the cost to strictly comply would result in an inability to obtain any reasonable economic return on the property; or
4. The proposed land-use activity is of comparable architectural and historical value and authenticity to that required by the applicable Design Guidelines and is consistent with the intent and purpose of the applicable Design Guidelines.

The attached guideline matrix provides a summary of Staff's position as to where the application lies, with respect to individual guidelines, on a spectrum. Staff are of the opinion that the majority of the guidelines and criteria have been met, and that waivers for three (3) guidelines would be justified. The DRC is not bound by these suggestions and Staff's position may change depending on additional information provided. The matrix is intended as a tool to help fashion and organize a motion.

Arvada Library Renovation (JCPL) DA2025-0047 Guidelines Matrix

The following represents Staff's position as to where the application lies, with respect to individual guidelines, on a spectrum. The guidelines are noted as being clearly met (●), as not being met, however a waiver is justified (●), or as not being met, and a waiver has not been justified (●). Where two selections are made, a determination as to whether or not the guideline has been met is necessary. The suggested motion which references waivers on the coversheet assumes waivers are necessary if not clearly indicated as being met (●) in the matrix.

The DRC is not bound by these suggestions and Staff's position may change depending on additional information provided. The matrix is intended as a tool to help fashion and organize a motion.

| No. | Guideline | Guideline Met | Guideline Not Met Waiver Justified | Guideline Not Met Waiver Not Justified |
|---|------------------------------|---------------|---------------------------------------|---|
| DESIGN GUIDELINES FOR ALL PROJECTS | | | | |
| CONNECTIVITY | | | | |
| 4.3 | Convenient connections. | ● | | |
| OUTDOOR AMENITY SPACE | | | | |
| 4.4 | Outdoor amenity spaces. | ● | | |
| PUBLIC ART | | | | |
| 4.8 | Public art. | ● | | |
| SITE LIGHTING | | | | |
| 4.15 | Prevent off-site glare. | ● | | |
| 4.16 | Provide pedestrian lighting. | ● | | |
| 4.17 | Character of light fixtures. | ● | | |
| BUILDING LIGHTING | | | | |
| 4.18 | Accent lighting. | ● | | |
| 4.19 | Minimize lighting impacts. | ● | | |
| 4.20 | Shield and focus lights. | ● | | |

| BUILDING EQUIPMENT | | | | |
|--------------------------------|--|---|---|--|
| 4.23 | Minimize building equipment. | | ● | |
| AWNINGS AND CANOPIES | | | | |
| 4.26 | Fixed metal canopy. | ● | | |
| 4.27 | Building character and streetscape. | ● | | |
| COLOR | | | | |
| 4.28 | Single composition (façade). | ● | | |
| 4.29 | Muted base or background color. | ● | | |
| 4.30 | Traditional building elements. | ● | | |
| LANDSCAPE | | | | |
| 4.33 | Appropriate landscape designs. | ● | | |
| STREETSCAPE | | | | |
| 4.36 | Coordinated improvements. | ● | | |
| 4.37 | Appropriate streetscape designs. | ● | | |
| SITE FURNISHINGS | | | | |
| 4.41 | Site furnishings. | ● | | |
| NEW CONSTRUCTION | | | | |
| ARCHITECTURAL CHARACTER | | | | |
| 5.1 | Design reflects its time. | ● | | |
| 5.2 | Contemporary interpretations of traditional designs. | ● | | |
| 5.3 | Discourage exact imitations. | ● | | |
| BUILDING ORIENTATION | | | | |
| 5.5 | Orient to a plaza. | | ● | |
| MATERIALS | | | | |
| 5.6 | Historic building materials. | ● | | |
| 5.7 | Similar masonry. | ● | | |
| 5.9 | Human scale in building design. | ● | | |

| ENERGY EFFICIENCY IN NEW DESIGNS | | | | |
|--|--|---|---|--|
| 5.11 | Energy savings. | ● | | |
| CIVIC FACILITIES | | | | |
| 5.46 | Reflect basic urban design principles. | ● | | |
| 5.47 | Reflect basic urban design principles. | ● | | |
| GUIDELINES FOR THE OT-W SUBDISTRICT | | | | |
| SITE PLAN DESIGN GUIDELINES | | | | |
| 6.4 | Building setbacks. | ● | | |
| BUILDING PLAN DESIGN GUIDELINES | | | | |
| 6.6 | Pedestrian friendly streets. | ● | | |
| SIGNS | | | | |
| GENERAL | | | | |
| 7.4 | Subordinate. | ● | | |
| 7.5 | Compatible materials. | ● | | |
| 7.7 | Legible. | ● | | |
| 7.8 | Simple typeface. | ● | | |
| 7.9 | Shielded light source. | ● | | |
| AWNING AND UNDER CANOPY SIGNS | | | | |
| 7.11 | High pedestrian use. | ● | | |
| WALL SIGNS | | | | |
| 7.15 | Constructed flush to façade. | | ● | |

NARRATIVE SUMMARY

The project site is zoned OT-W and is located adjacent to Olde Town Square. The existing two story plus basement 34,172 gross square feet building on the site is a public library owned and operated by Jefferson County Public Libraries; building use will remain unchanged. Project scope is to renovate the interior of the existing building to better meet the needs of the community, library staff, and improve safety and security. Exterior modifications proposed to support this renovation include: an approximately 700 square foot addition underneath an existing second floor overhang, shifting the main entry and providing a new entry canopy, replacing exterior building signage, expanding existing second floor window openings, and adding a 3'-6" high fence along the outdoor space at the west.

LEGAL DESCRIPTION

Lot 1, Arvada Library Minor Subdivision recorded at Reception No. 2006103884

*Lot square footage noted is based on the Arvada Library Minor Subdivision recorded plat.

GENERAL NOTES

- Any proposed fences, walls, signs and accessory structures shown on this plan are illustrative only and subject to separate reviews and permits.
- Fire apparatus access roads shall be provided with an approved all-weather surface (concrete or asphalt) and shall be capable of supporting an imposed load of 85,000 pounds.
- The approved fire apparatus access roads shall be provided during construction unless otherwise approved by the AFPD. The fire apparatus access roads shall consist of the first lift of asphalt or concrete and shall be provided prior to commencing vertical construction. Alternative temporary fire apparatus access road materials and/or designs shall be approved and permitted by the AFPD. The private roads through the site shall be dedicated on the final plat as "Fire Apparatus Access Roads" or other similar language as required by the City of Arvada.
- A 3'-0" clear space shall be maintained around all fire hydrants and not obstructed.
- Fire Hydrants shall be installed and operational to provide the minimum required fire flow prior to commencing vertical construction.
- During construction and upon completion there shall be building signage provided, a minimum of 0'-4" inches high with a 0.5" stroke and visible from the street or road fronting that building.
- The City of Arvada is not responsible for the accuracy and adequacy of the survey data shown herein. The City of Arvada's review is for general compliance with Arvada's Land Development Code. The City of Arvada, through the acceptance of the plat/site plan, assumes no responsibility for completeness and/or accuracy of plat/site plan. The accuracy of survey information including boundary information, monumentation, lot lines, etc is the sole responsibility of the licensed surveyor named herein.

VICINITY MAP



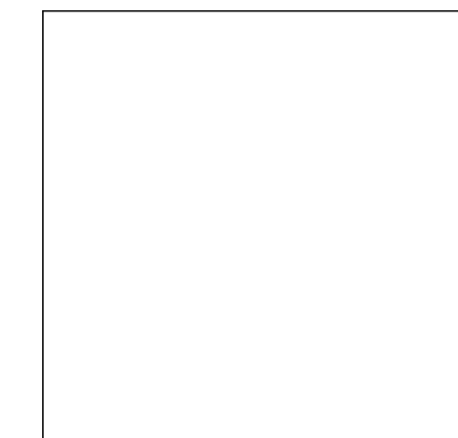
<https://gis-arvada.opendata.arogis.com/pages/maps>

JEFFERSON COUNTY PUBLIC LIBRARY - ARVADA LIBRARY

7525 W 57th Ave. Arvada, CO 80002
Arvada Library Site Plan

Lot1 of the Arvada Library Minor Subdivision located in the South east Quarter of Section 11, Township 3 South, Range 69 West of the 6th Principal Meridian. City of Arvada, County of Jefferson, State of Colorado. 25,138 Square feet.

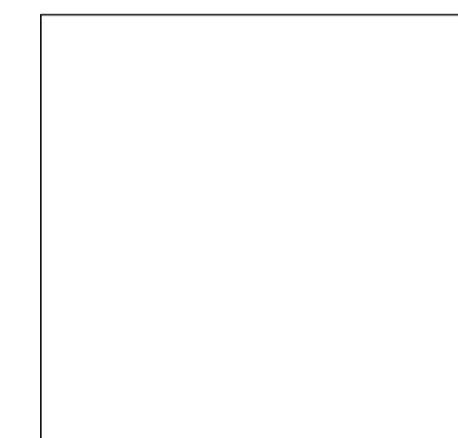
PROJECT TEAM



OWNER JEFFERSON COUNTY PUBLIC LIBRARIES

10200 W 20th Avenue
Lakewood, CO 80215
PHONE: (303) 235-5275
www.jeffcolibrary.com

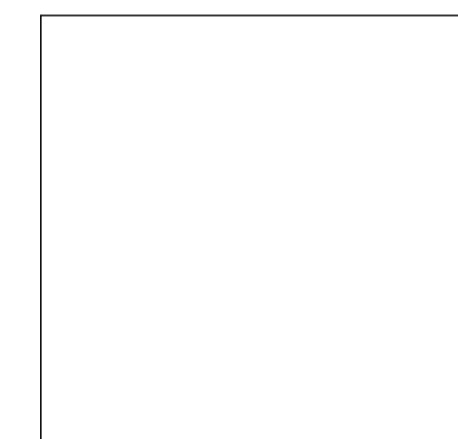
PROJECT CONTACT: Amy Bentz
DIRECT PHONE: (720) 661-7673
EMAIL ADDRESS: amy.bentz@jeffcolibrary.com



ARCHITECTURAL EPPSTEIN UHEN ARCHITECTS, INC.

1899 Wynkoop Street, Suite 700
Denver, CO 80202
PHONE: (303) 595-4500
www.eua.com

PROJECT CONTACT: Kelly Wemple, AIA
DIRECT PHONE: (303) 256-1145
EMAIL ADDRESS: kellyw@eua.com



CIVIL MARTIN / MARTIN CONSULTING ENGINEERS

12499 West Cofax Ave
Lakewood, CO 80215
PHONE: (303) 431-6100
www.martinmartin.com

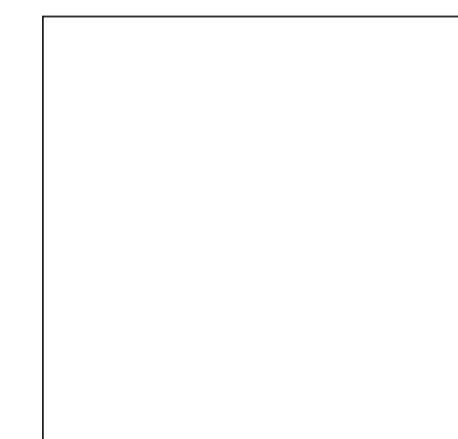
PROJECT CONTACT: Donald Weber, PE, Associate
DIRECT PHONE: (303) 431-6100 ext.290
EMAIL ADDRESS: dweber@martinmartin.com



ELECTRICAL ME ENGINEERS

14143 Denver West Parkway, Suite 300
Golden, CO 80401
PHONE: (303) 421-6655
www.meengineers.com

PROJECT CONTACT: Phil Schneider, Project Manager
DIRECT PHONE: (303) 467-7474
EMAIL ADDRESS: phil.schneider@me-engineers.com



LANDSCAPE SEVEN 29 DESIGN LLC

5856 S Lowell Blvd
Littleton, CO 80123
PHONE: 303.883.3278

PROJECT CONTACT: Chris March, PLA
DIRECT PHONE: (303) 883-3278
EMAIL ADDRESS: cmarch@seven29design.com

SHEET INDEX

| SITE PLAN SUBMITTAL SHEET LIST | |
|--------------------------------|--------------------------------|
| SHEET NUMBER | SHEET NAME |
| 1 | COVER SHEET |
| 2 | SITE PLAN |
| 3 | TREE SURVEY |
| 4 | LANDSCAPE PLAN |
| 5 | LANDSCAPE DETAILS |
| 6 | LIGHTING SITE PHOTOMETRIC PLAN |
| 7 | ARCHITECTURAL ELEVATIONS |
| 8 | ARCHITECTURAL ELEVATIONS |
| 9 | ARCHITECTURAL DETAILS |

BENCHMARK

Elevations are based on the City of Arvada Benchmark #747. A 2" Brass Cap set in the Back of Curb at the Northeast Corner of the intersection of Ralston Road and Colorado State Highway 121 (Wadsworth Boulevard) and East of the Center of Curve of the Right Turn Slip Lane onto Colorado State Highway 121.

Elevation – 5326.49 Feet (Arvada Datum)

| SITE DATA TABLE | | |
|--|--|---|
| Site Development Information | | |
| Zone District | OT-W (Olde Town - Webster Subdistrict) | |
| Total Project Area | 25,180 SF | |
| Site Development Information | | |
| | Site | Standard |
| Lot standards | | |
| Lot Area (min) | 25,180 SF | - |
| Lot Width (min) | (See "Lot width, Corner" below) | - |
| Lot width, Corner (min) | 154'-10" (Primary / South) 158'-0" (East) | - |
| Lot Coverage (max) | 48% | - |
| Building and Parking Siting Standards [not required for single-family or duplex units in RA, RN, or R districts] | | |
| Frontage Zone (min/max) Applicable to Webster Street & W 57th Avenue | 0'/20' (min/max) | 0'/20' (min/max) |
| Frontage Zone (min/max) Olde Town Plaza | 13'-3.6" | 0'/20' (min/max) |
| Façade in Frontage Zone (min) [only in MX and OT Zones] | 100% | 75% |
| Front Setback (min) Webster Street | 0" | 0'/20' (min/max) |
| Front Setback (min) W 57th Avenue | 6' min / 6'-6" max | 0'/20' (min/max) |
| Front Parking Setback (min) | N/A | 5' |
| Side Setback, Interior (min) | 62'-11 1/2" - North side; existing non-compliant | 0'/10' |
| Building Standards | | |
| Height (ft [max]/ stories) | 34 ft 10 in / 2 Stories | 35 ft / 3 Stories |
| Site Standards | | |
| Landscape Surface Area (min) | 3% | - |
| Impermeable Surface Area | 97% | - |
| Parking Standards [may require additional Parking Zone and Parking Credit information] | | |
| Standard Spaces | 11 | No minimum req'd for Public Buildings |
| Accessible Spaces | 1 | 0 |
| TOTAL | 12 | 0 |
| Bicycle Spaces [may require short-term/long-term breakout] | 6 | 5 |
| Proposed Use(s) with Gross Floor Area [only in non-residential zones] | | |
| Use 1 [e.g. - label as medical office] | Public Building; Library | Public Building As-Of-Right Use in OT-W |
| Building GFA | 34,172 GSF | - |
| Additional Information [such as a minor modification reference, if needed] | | |
| Minor Modification requested for a site fence height 20% greater than the maximum height allowable in the OT-W zone and to not have a public entrance facing Olde Town Square (required per Table 2-1-5-11F). Refer to Minor Modification Application. | | |
| Property Owner is undergoing an Intergovernmental Agreement (IGA) and Revocable License with the City of Arvada as part of this project. The IGA to allow egress of the outdoor space along the west side of the building through Olde Town Square. The Revocable License to allow for the fence enclosing the outdoor space along the west side of the building to be 5'-4" over the property line and for the canopy encroaching over the City of Arvada right-of-way. | | |



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ISSUANCE AND REVISIONS

| DATE | DESCRIPTION |
|------------|------------------------|
| 07.09.2025 | Site Plan Submittal |
| 09.12.2025 | Site Plan Submittal #2 |

B

SHEET INFORMATION



PROJECT MANAGER KW

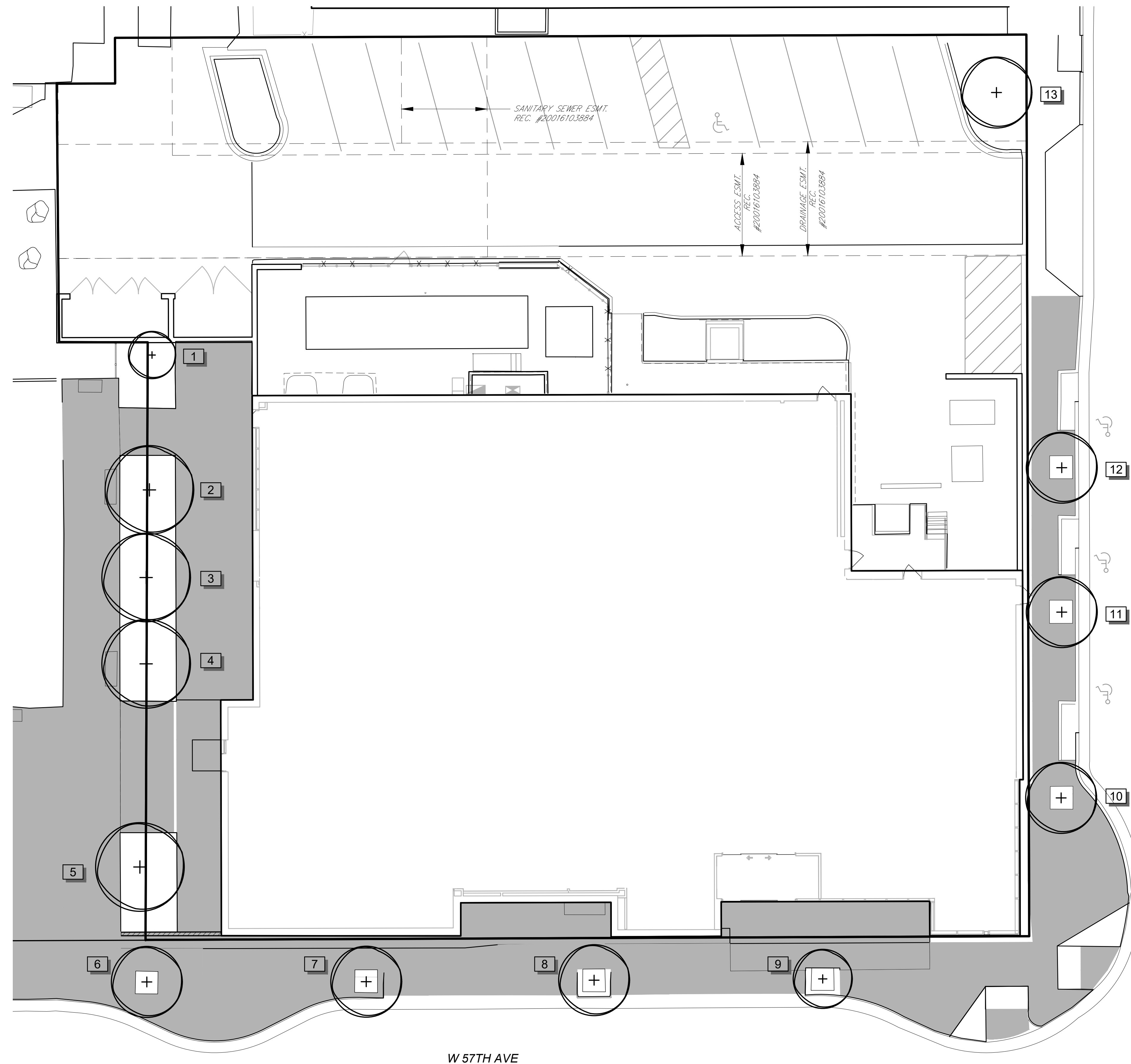
PROJECT NUMBER 821341.03

A

COVER SHEET

SHEET 1 OF 9

JEFFERSON COUNTY PUBLIC LIBRARY - ARVADA LIBRARY
 7525 W 57th Ave. Arvada, CO 80002
 Arvada Library Site Plan



LEGEND

| SYMBOL | DESCRIPTION | SYMBOL | DESCRIPTION |
|--------|-------------------------|--------|-------------|
| (+) | EXISTING DECIDUOUS TREE | # | TREE NUMBER |

TREE SURVEY

| TREE # | SPECIES | STATUS | CALIPER | COMMENTS |
|--------|-------------------|---------|----------|-------------------------------------|
| 1 | EASTERN REDBUD | KEEP | 3.0 INCH | |
| 2 | COCKSPUR HAWTHORN | KEEP | 5.0 INCH | |
| 3 | COCKSPUR HAWTHORN | KEEP | 6.5 INCH | |
| 4 | COCKSPUR HAWTHORN | KEEP | 5.5 INCH | |
| 5 | COCKSPUR HAWTHORN | KEEP | 6.0 INCH | |
| 6 | ENGLISH OAK | REPLACE | 8.5 INCH | LOW CANOPY / DAMAGED CENTRAL LEADER |
| 7 | BRADFORD PEAR | KEEP | 5.0 INCH | |
| 8 | ENGLISH OAK | REPLACE | 4.5 INCH | LOW CANOPY |
| 9 | SWAMP WHITE OAK | KEEP | 2.5 INCH | |
| 10 | BRADFORD PEAR | KEEP | 3.0 INCH | |
| 11 | SWAMP WHITE OAK | KEEP | 2.5 INCH | |
| 12 | UNKNOWN | REPLACE | 2.0 INCH | DEAD |
| 13 | COCKSPUR HAWTHORN | KEEP | 5.0 INCH | |



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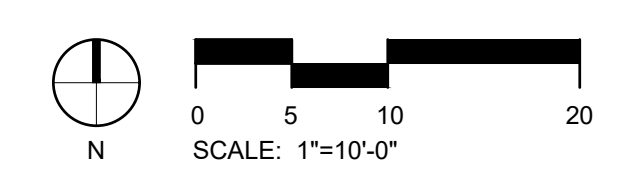
SHEET INFORMATION

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| PROJECT MANAGER | CM |
| PROJECT NUMBER | 24032 |

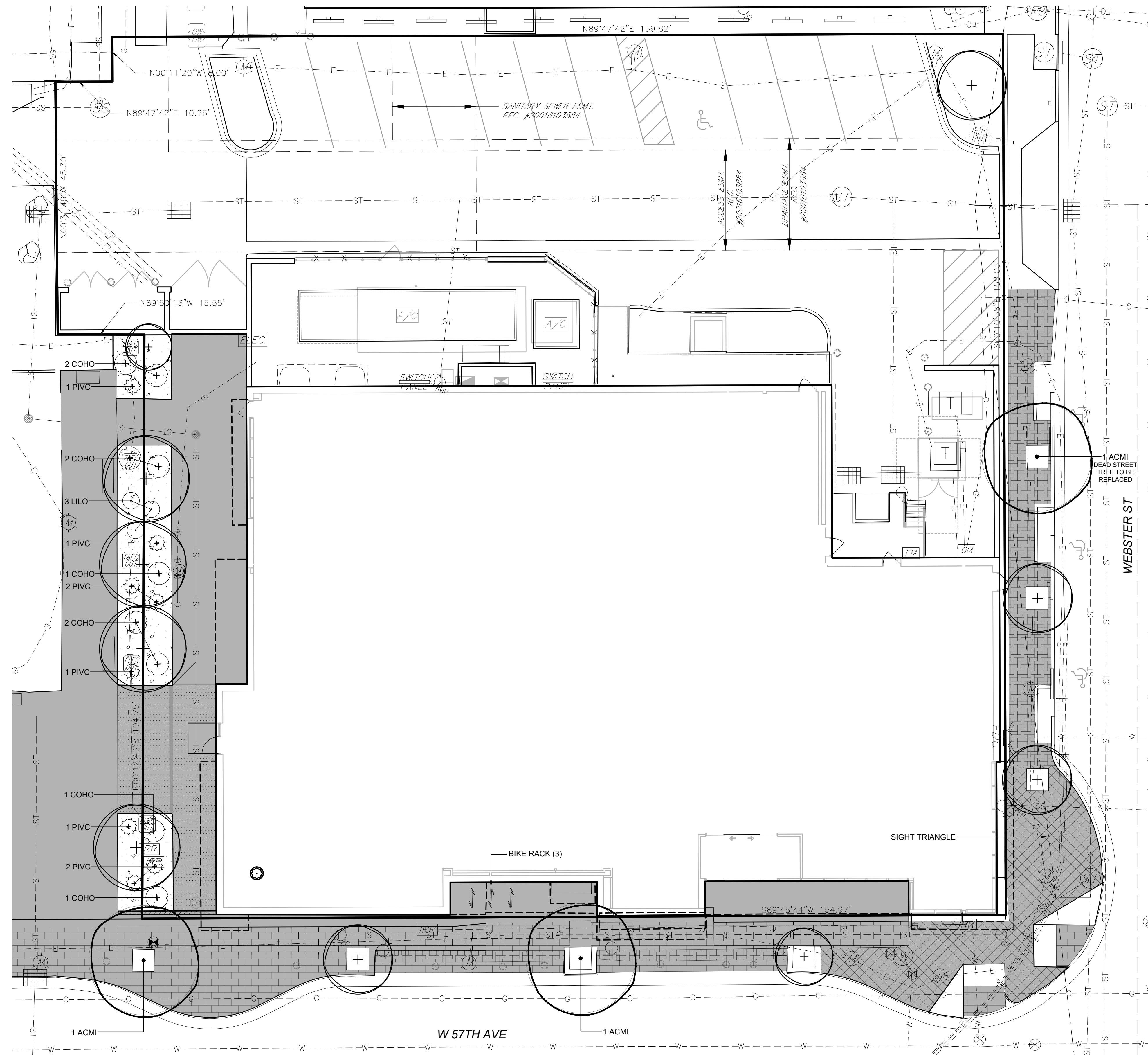
TREE SURVEY

SHEET 3 OF 9

TREE SURVEY



JEFFERSON COUNTY PUBLIC LIBRARY - ARVADA LIBRARY
7525 W 57th Ave. Arvada, CO 80002
Arvada Library Site Plan



LEGEND

| SYMBOL | DESCRIPTION | SYMBOL | DESCRIPTION |
|--------|-----------------------------------|-----------------|-----------------------|
| (+) | EXISTING DECIDUOUS TREE TO REMAIN | (Stippled) | EXISTING ROCK MULCH |
| (•) | DECIDUOUS TREE | (Grid) | CONCRETE PAVING |
| (••) | DECIDUOUS SHRUBS | (Dotted) | POUR IN PLACE SURFACE |
| (•••) | EVERGREEN SHRUBS | (Cross-hatched) | PAVERS |
| (••••) | BROADLEAF EVERGREEN SHRUBS | | |

PLANT SCHEDULE

| CODE | QTY | BOTANICAL NAME | COMMON NAME | CONT | CAL | HYDRO | SIZE (HxW) |
|-----------------------------|-----|-----------------------------|---------------------|-------|--------|-------|------------|
| DECIDUOUS TREES | | | | | | | |
| ACMI | 3 | ACER MIYABEI 'MORTON' | STATE STREET MAPLE | B & B | 2" CAL | MOD | 40X30 |
| BROADLEAF EVERGREENS | | | | | | | |
| COHO | 9 | COTONEASTER HORIZONTALIS | ROCK COTONEASTER | 5 GAL | | MOD | 2X4 |
| DECIDUOUS SHRUBS | | | | | | | |
| LILLO | 3 | LIGUSTRUM VULGARE 'LODENSE' | LODENSE PRIVET | 5 GAL | | LOW | 3X3 |
| EVERGREEN SHRUBS | | | | | | | |
| PIVC | 8 | PINUS MUGO 'VALLEY CUSHION' | VALLEY CUSHION PINE | 5 GAL | | MOD | 3X3 |

- NOTES
- ALL PLANT MATERIAL SHALL MEET OR EXCEED CURRENT AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1 AND THE COLORADO NURSERY ACT AND ACCOMPANYING RULES AND REGULATIONS.
 - THE PLANT SYMBOLS SHOWN ON THE LANDSCAPE PLAN SHALL PREVAIL SHOULD THERE BE ANY DISCREPANCIES IN QUANTITIES BETWEEN THE PLAN AND PLANT SCHEDULE.

ARVADA STANDARD LANDSCAPE NOTES

- SITE SHALL BE LANDSCAPED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY (CO) DURING THE GROWING SEASON OF APRIL 1ST TO OCTOBER 1ST. AT ALL OTHER TIMES THE INDIVIDUAL SITES SHALL BE LANDSCAPED WITHIN 45 (FORTY-FIVE) DAYS OF THE START OF THE FOLLOWING GROWING SEASON.
- LANDSCAPE MAINTENANCE
 - ALL PLANTS SHALL BE MAINTAINED CONTINUALLY IN A HEALTHY CONDITION IN ACCORDANCE WITH GENERALLY ACCEPTED PROFESSIONAL HORTICULTURAL STANDARDS AND PRACTICES. PLANTS THAT DIE OR ARE UNHEALTHY SHALL BE REPLACED ACCORDING TO THE APPROVED LANDSCAPE PLAN.
 - REGULAR PRUNING AND TRIMMING SHALL BE PERFORMED TO MAINTAIN HEALTH AND AN ATTRACTIVE APPEARANCE AND TO PERMIT THE PLANTS TO ACHIEVE THEIR INTENDED FORM AND HEIGHT.
 - ALL LANDSCAPE AREAS SHALL BE KEPT FREE OF WEEDS, LITTER AND TRASH AND ALL IRRIGATION SYSTEMS SHALL BE PROPERLY MAINTAINED.
- ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH UNDERGROUND AUTOMATIC IRRIGATION SYSTEM. TREES, SHRUBS, AND DECORATIVE GRASSES WILL BE IRRIGATED BY A SEPARATE ZONE FROM SOD/GRASS. THIS INCLUDES TREES PLANTED IN SOD/GRASS AREA. THE IRRIGATION SYSTEM IS TO HAVE A RAIN SENSOR SHUT-OFF INSTALLED.
- LANDSCAPING THAT LIES WITHIN SITE TRIANGLES SHALL NOT GROW TO BE OVER 2'-6" IN HEIGHT.
- TREES AND LANDSCAPING WITHIN DEVELOPMENTS, WHEN FULLY MATURE, SHALL PROVIDE AN UNOBSTRUCTED VERTICAL CLEARANCE OF 13'-6" AND PROVIDE THE MINIMUM UNOBSTRUCTED FIRE APPARATUS ACCESS ROAD WIDTH AS REQUIRED BASED ON THE HEIGHT OF THE BUILDING.
- TREES SHALL NOT BE PLANTED CLOSER THAN 10 FEET TO ANY SEWER OR WATER LINE, METERS, AND VAULTS. TREE PLANTING SHALL BE COORDINATED WITH XCEL ENERGY. LOCATIONS OF ALL UTILITIES SHALL BE VERIFIED IN THE FIELD PRIOR TO PLANTING.



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D

C



ISSUANCE AND REVISIONS

| DATE | DESCRIPTION |
|------------|------------------------|
| 07.09.2025 | Site Plan Submittal |
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B

SHEET INFORMATION

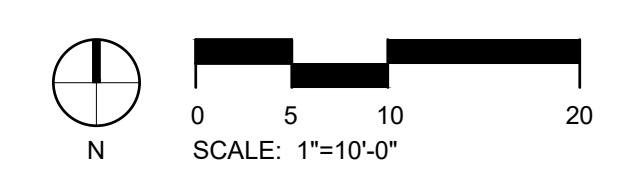
| | |
|-----------------|-------|
| PROJECT MANAGER | CM |
| PROJECT NUMBER | 24032 |

A

LANDSCAPE PLAN

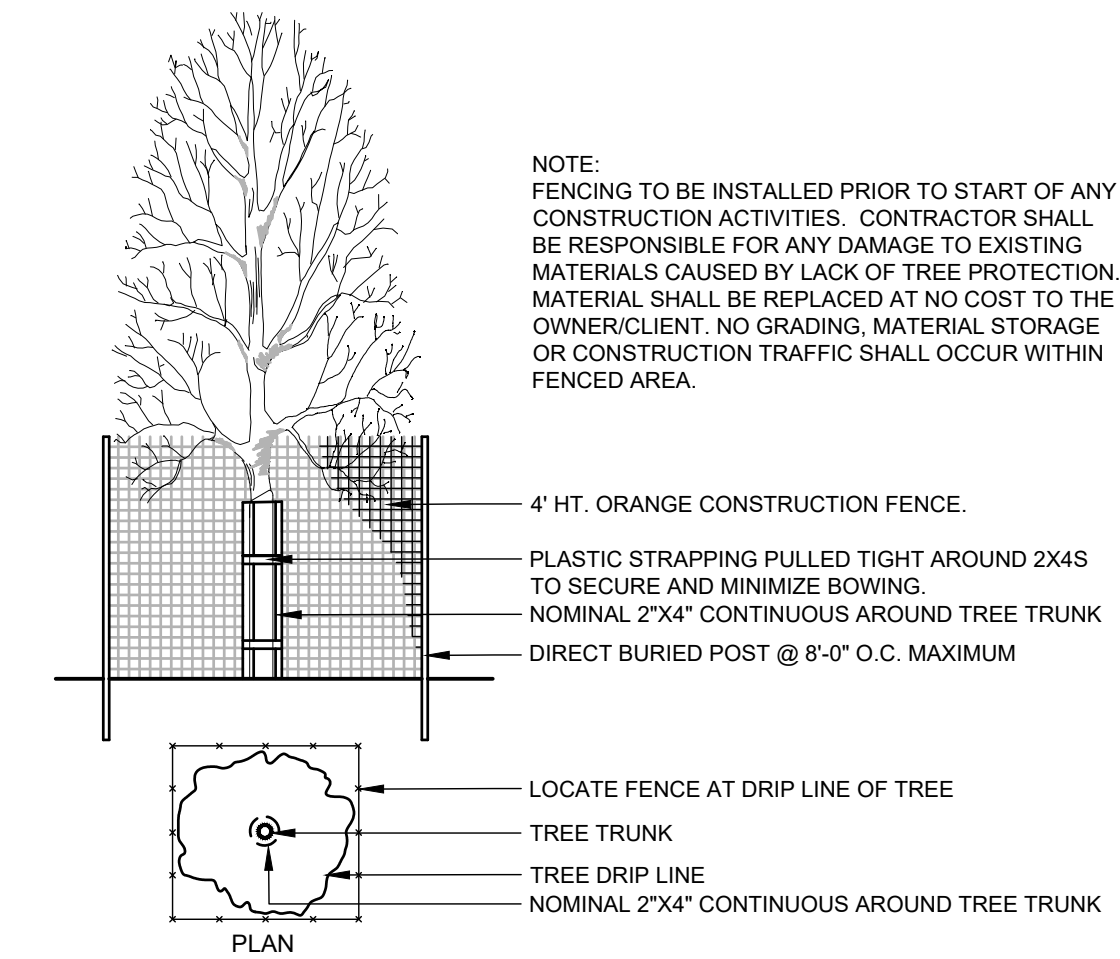
SHEET 4 OF 9

LANDSCAPE PLAN



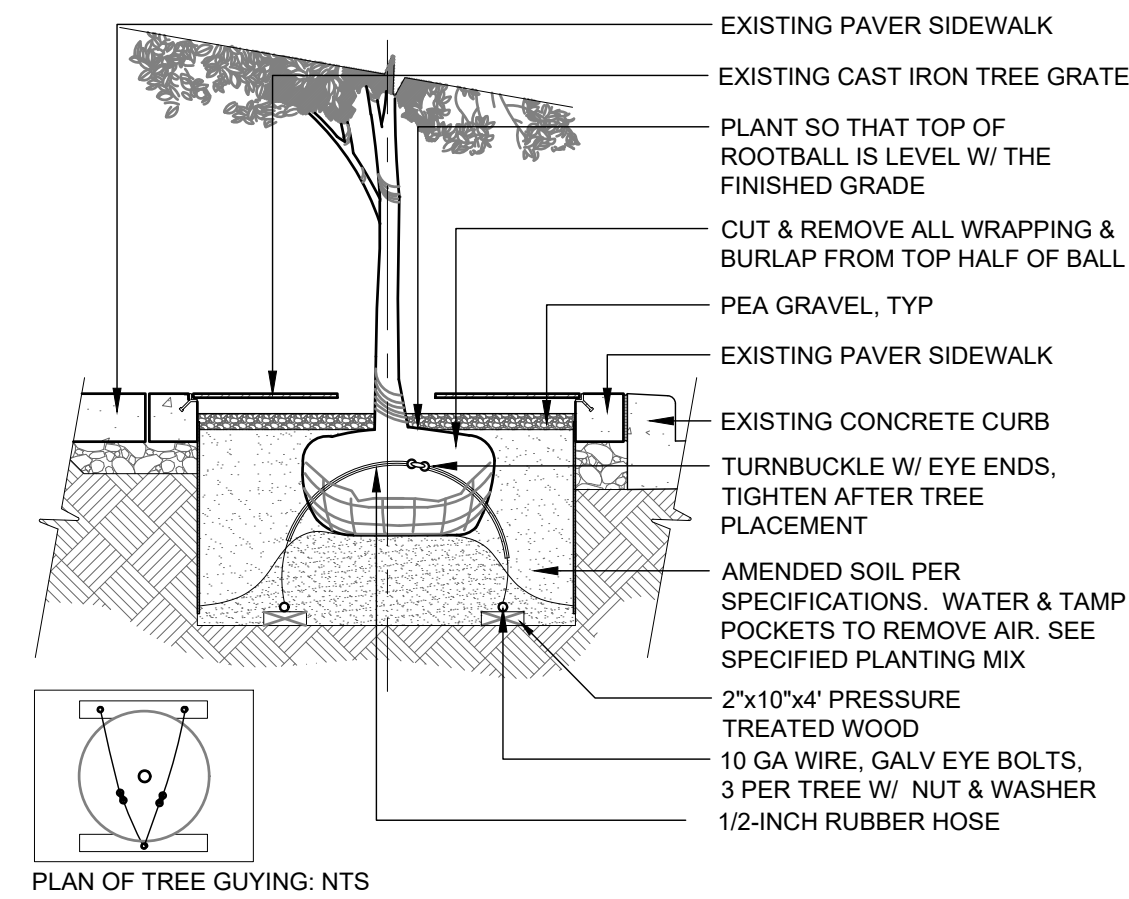


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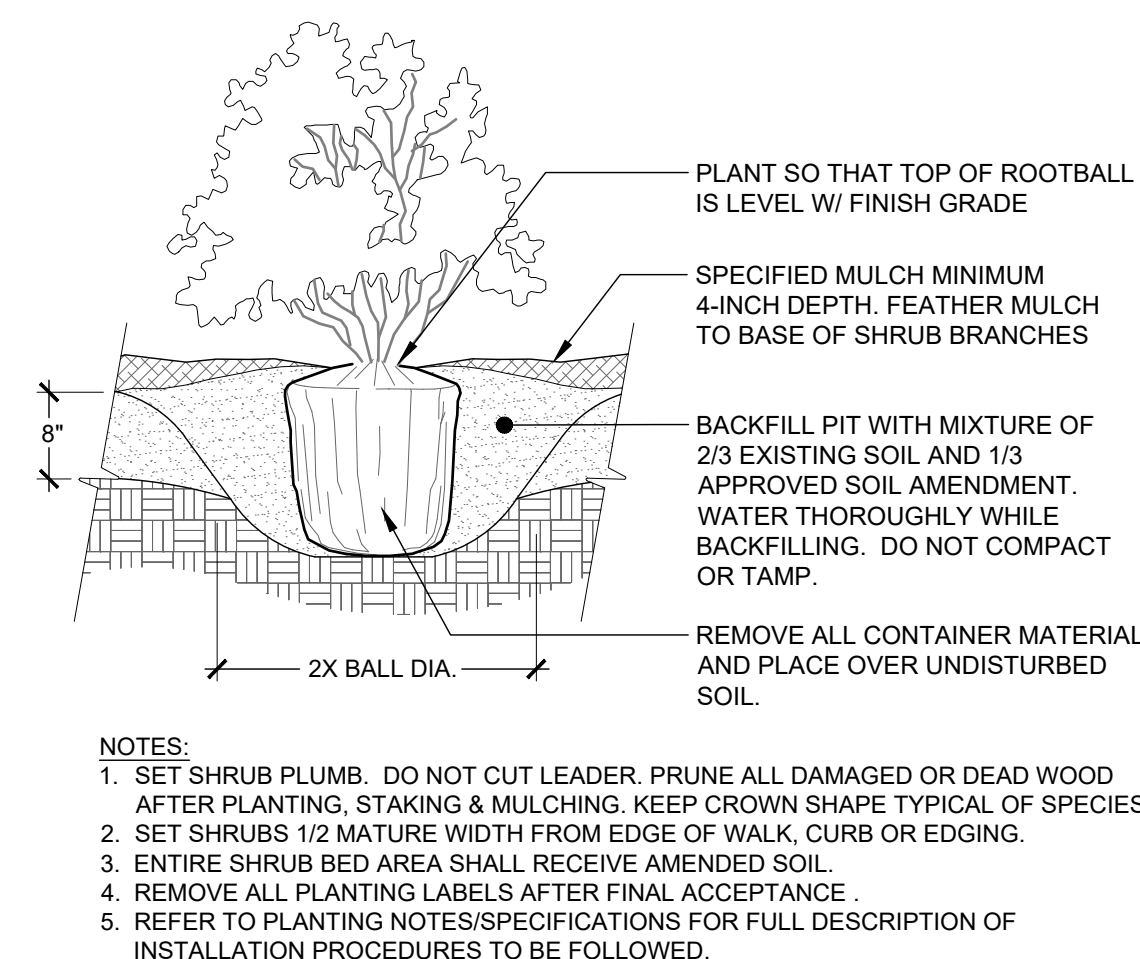


1 TREE PROTECTION
 NTS 329300-01

NOTE:
 FENCING TO BE INSTALLED PRIOR TO START OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING MATERIALS CAUSED BY LACK OF TREE PROTECTION. MATERIAL SHALL BE REPLACED AT NO COST TO THE OWNER/CLIENT. NO GRADING, MATERIAL STORAGE OR CONSTRUCTION TRAFFIC SHALL OCCUR WITHIN FENCED AREA.

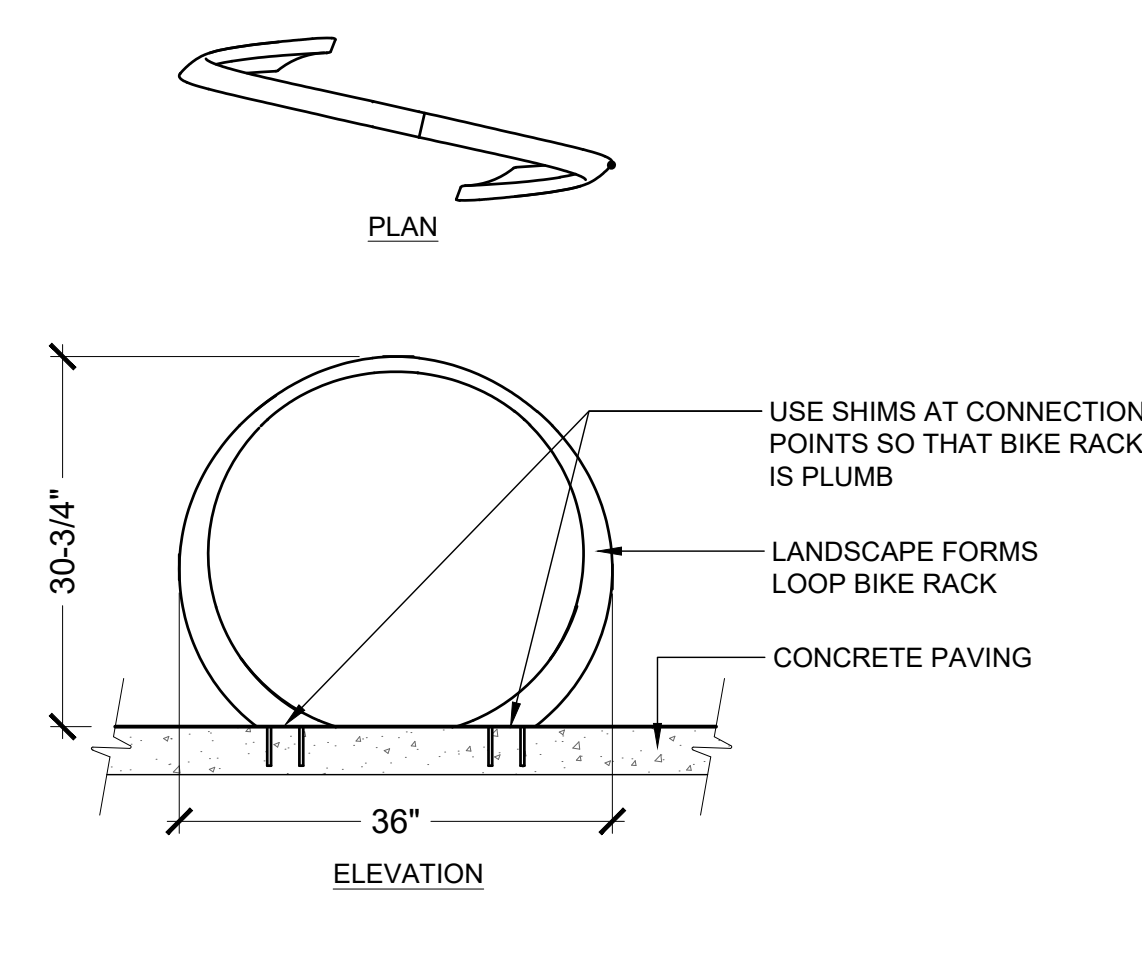


2 DECIDUOUS TREE PLANTING W/ GRATE
 1/2" = 1'-0" P-24032-01



3 SHRUB / ORNAMENTAL GRASS PLANTING
 NTS 329300-05

NOTES:
 1. SET SHRUB PLUMB. DO NOT CUT LEADER. PRUNE ALL DAMAGED OR DEAD WOOD AFTER PLANTING, STAKING & MULCHING. KEEP CROWN SHAPE TYPICAL OF SPECIES.
 2. SET SHRUBS 1/2 MATURE WIDTH FROM EDGE OF WALK, CURB OR EDGING.
 3. ENTIRE SHRUB BED AREA SHALL RECEIVE AMENDED SOIL.
 4. REMOVE ALL PLANTING LABELS AFTER FINAL ACCEPTANCE.
 5. REFER TO PLANTING NOTES/SPECIFICATIONS FOR FULL DESCRIPTION OF INSTALLATION PROCEDURES TO BE FOLLOWED.



4 BIKE RACK ON CONCRETE
 3/4" = 1'-0" P-24032-02



ISSUANCE AND REVISIONS

| DATE | DESCRIPTION |
|------------|------------------------|
| 07.09.2025 | Site Plan Submittal |
| 08.12.2025 | Site Plan Submittal #2 |

SHEET INFORMATION

| | |
|-----------------|-------|
| PROJECT MANAGER | CM |
| PROJECT NUMBER | 24032 |

LANDSCAPE DETAILS

JEFFERSON COUNTY PUBLIC LIBRARY - ARVADA LIBRARY
7525 W 57th Ave. Arvada, CO 80002
Arvada Library Site Plan



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MARTIN/MARTIN CONSULTING ENGINEERS

SEVEN DESIGN

me | engineers

- GENERAL NOTES:**
- EXISTING PEDESTRIAN LIGHTING SHOWN FOR REFERENCE ONLY. LIGHTING CONTRIBUTION NOT INCLUDED IN THESE CALCULATIONS.
 - FIXTURES USED ARE DARK SKY COMPLIANT/FULL CUTOFF.
 - CONTROLS SHALL BE PROVIDED TO REDUCE THE LIGHTING OUTPUT BY AT LEAST 70%, ONE HOUR AFTER CLOSE OF BUSINESS.
 - ALL CANOPY LIGHT FIXTURES SHALL BE RECESSED INTO CANOPY AND EQUIPPED WITH FLAT LENSES.
 - SIGNAGE LIGHTING SHALL BE APPROVED AS PART OF A SEPARATE SIGN PERMIT.
 - LUMINAIRES SHALL BE SHIELDED AND DIRECTED TO AVOID GLARE AND OVERSPILL ONTO ADJACENT PROPERTY.
 - ALL EXTERIOR FIXTURES SHALL BE FULL CUTOFF FIXTURES THAT ARE DIRECTED DOWNWARD (90 DEGREES FROM TRUE VERTICAL) AND SHALL HAVE FLAT LENSES, EMITTING NO MORE THAN 10 PERCENT OF THE TOTAL LUMENS BETWEEN 80 AND 90 DEGREES FROM TRUE VERTICAL. FIXTURES SHALL BE CONFIGURED SO THAT LIGHTS DO NOT CAUSE GLARE.
 - ALL LIGHT FIXTURES ON STRUCTURES, POLES, BOLLARDS, STANDS, OR MOUNTED ON A BUILDING SHALL HAVE A SHIELD, ADJUSTABLE REFLECTOR, AND/OR NON-PROTRUDING DIFFUSER TO SHIELD THE LIGHT SOURCE FROM SIGHT ON ADJACENT RESIDENTIAL ZONING DISTRICTS.
 - MOTION-ACTIVATED SECURITY LIGHTING SHALL BE TIMED TO TURN OFF AFTER NOT MORE THAN FIVE MINUTES AFTER MOTION ACTIVATION.
 - WALL PACKS ON THE EXTERIOR OF THE BUILDING SHALL BE FULLY SHIELDED (E.G., TRUE CUT-OFF TYPE BULB OR LIGHT SOURCE NOT VISIBLE FROM OFF-SITE) TO DIRECT THE LIGHT VERTICALLY DOWNWARD.
 - ONE HOUR AFTER THE CLOSE OF BUSINESS, ALL ILLUMINATION SHALL BE REDUCED BY AT LEAST 70 PERCENT, AND REMAIN IN THAT STATE UNTIL AT LEAST ONE HOUR PRIOR TO OPEN OF BUSINESS. THIS REDUCTION IN ILLUMINATION MAY BE ACHIEVED BY DIMMING THE LAMPS WITHIN A LIGHT FIXTURE (LUMINAIRE), AND/OR TURNING OFF A LUMINAIRE OR A PORTION OF A MULTI-LUMINAIRE ASSEMBLY. THIS DOES NOT APPLY TO RESIDENTIAL USES.
- IF CANOPY IS PROVIDED:
- ALL CANOPY LIGHT FIXTURES SHALL HAVE FLUSH MOUNTED OR RECESSED INTO THE CANOPY AND EQUIPPED WITH FLAT LENSES.
- IF THE SITE CONTAINS AN OUTDOOR SPORTS OR PERFORMANCE VENUE:
- LIGHTING SHALL BE REDUCED BY 50 PERCENT IMMEDIATELY AFTER THE END OF PLAY AND SHALL BE FULLY TURNED OFF.
 - ONE HOUR AFTER THE END OF PLAY; AND
 - WHEN THE FACILITY IS NOT IN USE

| Symbol | Qty | Label | Arrangement | Description | Tag | LF | Luminaire Lumens | Luminaire Facts | Total Lumens |
|--------|-----|-------------------------------|-------------|-----------------------------|-----|-------|------------------|-----------------|--------------|
| D | 8 | (E) - 30W LED P2 303 40K W002 | Single | (E) 30W LED P2 303 40K W002 | (E) | 1,000 | 3129 | 29.27 | 233.16 |
| | 2 | (E) 1743 | Single | (E) 1743 | (E) | 1,000 | 1195 | 11.4 | 11.4 |
| | 1 | (E) 1817 | Single | (E) 1817 | (E) | 1,000 | 1195 | 11.4 | 11.4 |
| | 1 | (E) 1817 | Single | (E) 1817 | (E) | 1,000 | 1195 | 11.4 | 11.4 |
| | 1 | (E) 1817 | Single | (E) 1817 | (E) | 1,000 | 1195 | 11.4 | 11.4 |
| | 2 | (E) 1817 | Single | (E) 1817 | (E) | 1,000 | 1195 | 11.4 | 11.4 |
| | 2 | (E) 1817 | Single | (E) 1817 | (E) | 1,000 | 1195 | 11.4 | 11.4 |
| | 15 | (E) 1817 | Single | (E) 1817 | (E) | 1,000 | 1195 | 11.4 | 11.4 |
| | 15 | (E) 1817 | Single | (E) 1817 | (E) | 1,000 | 1195 | 11.4 | 11.4 |

| Calculation Summary | Calc Type | Units | Avg | Max | Min | Avg/Min | Max/Min |
|------------------------|-------------|-------|------|------|-----|---------|---------|
| AREA OF NEW LIGHTING | ILLUMINANCE | FC | 1.12 | 1.7 | 0.0 | N/A | N/A |
| PROPOSED LIGHTING AREA | ILLUMINANCE | FC | 1.30 | 11.0 | 0.0 | N/A | N/A |
| NEAREST EXISTING | ILLUMINANCE | FC | 0.20 | 0.2 | 0.1 | 2.00 | 01.00 |

PRODUCT CODE: EX2R 300 80 40 WW (LENGTH PER PLANS) BLK UNV DPX 1 DF

Extend 2 | Recessed mount

Project: _____
Type: _____
Notes: _____

| NOMINAL LUMEN OUTPUT | INPUT WATTS | EFFICACY | SHIELDING |
|----------------------|-------------|----------|-----------|
| 1000 lm/ft | 9.8 W/ft | 101 lm/W | SO |
| 750 lm/ft | 7.2 W/ft | 103 lm/W | GZ |
| 750 lm/ft | 7.4 W/ft | 101 lm/W | ASO |
| 1000 lm/ft | 9.7 W/ft | 102 lm/W | BW |
| 750 lm/ft | 7.4 W/ft | 101 lm/W | WW |

*Please consult factory for custom lumen output and wattage.

PRODUCT CODE: EX2WD 300 80 40 GZ (LENGTH PER PLANS) BLK UNV DPX 1 WB

Extend 2 | Wall mount - Direct

Project: _____
Type: _____
Notes: _____

| NOMINAL LUMEN OUTPUT | INPUT WATTS | EFFICACY | SHIELDING |
|----------------------|-------------|----------|-----------|
| 1000 lm/ft | 9.8 W/ft | 101 lm/W | SO |
| 750 lm/ft | 7.2 W/ft | 103 lm/W | GZ |
| 750 lm/ft | 7.4 W/ft | 101 lm/W | ASO |

*Please consult factory for custom lumen output and wattage.

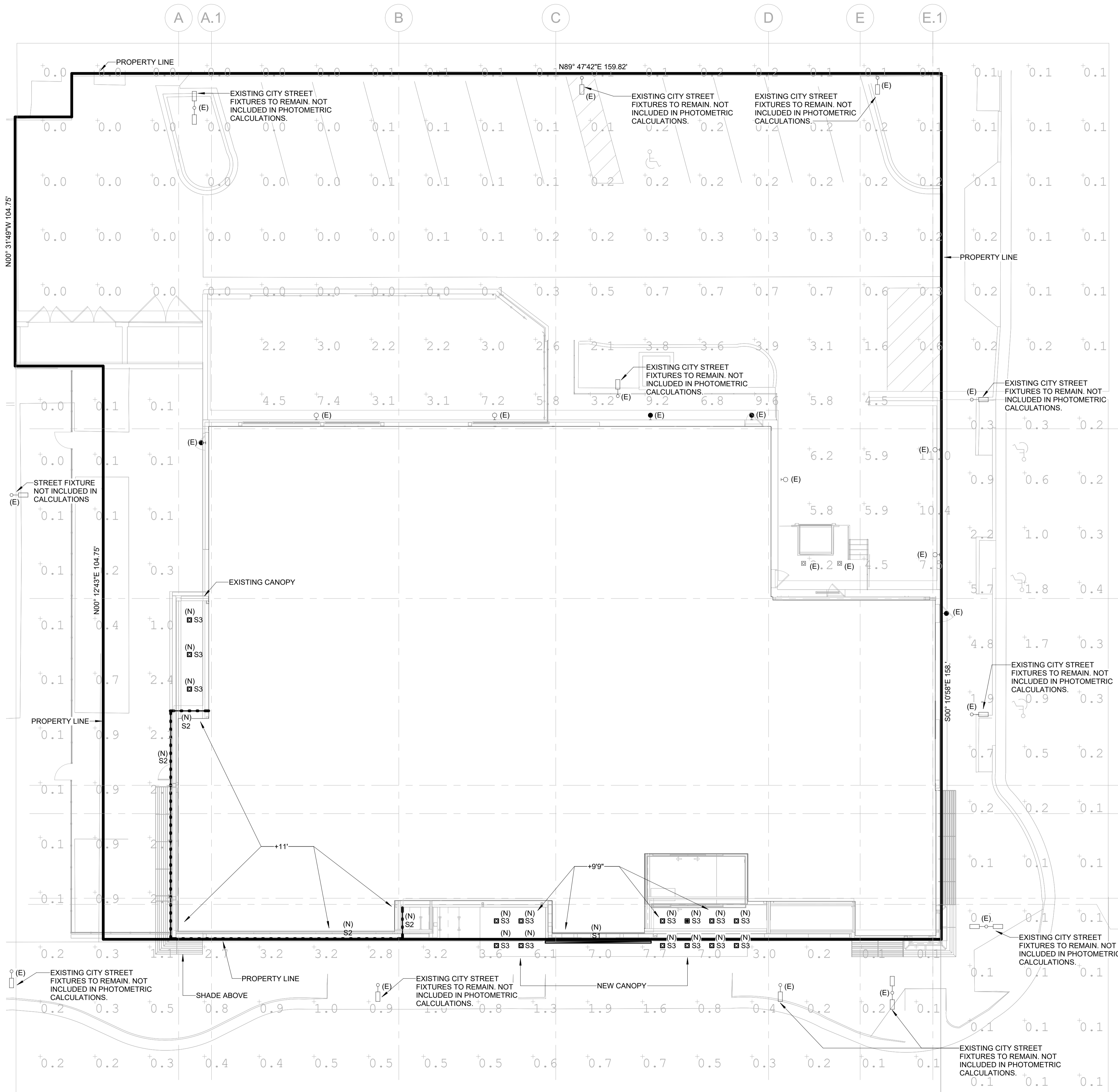
PRODUCT CODE: 6DR-TL-L10/840-ATH-DIM1-UNV-FW-OF-BL-WET/CC-N-XX

6DR LED | 6" Downlight - Round

Project: _____
Type: _____
Notes: _____

130 - 140 Lumens shown

CATALOG #: _____
TYPE: _____
PROJECT: _____



D

SEVEN DESIGN

me | engineers

C



ISSUANCE AND REVISIONS

| DATE | DESCRIPTION |
|------------|------------------------|
| 07.09.2025 | SITE PLAN SUBMITTAL |
| 09.12.2025 | SITE PLAN SUBMITTAL #2 |

B

SHEET INFORMATION

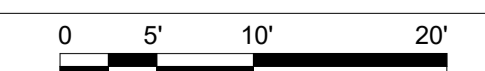
PROJECT MANAGER

PROJECT NUMBER 821341.03

LIGHTING SITE PHOTOMETRIC PLAN

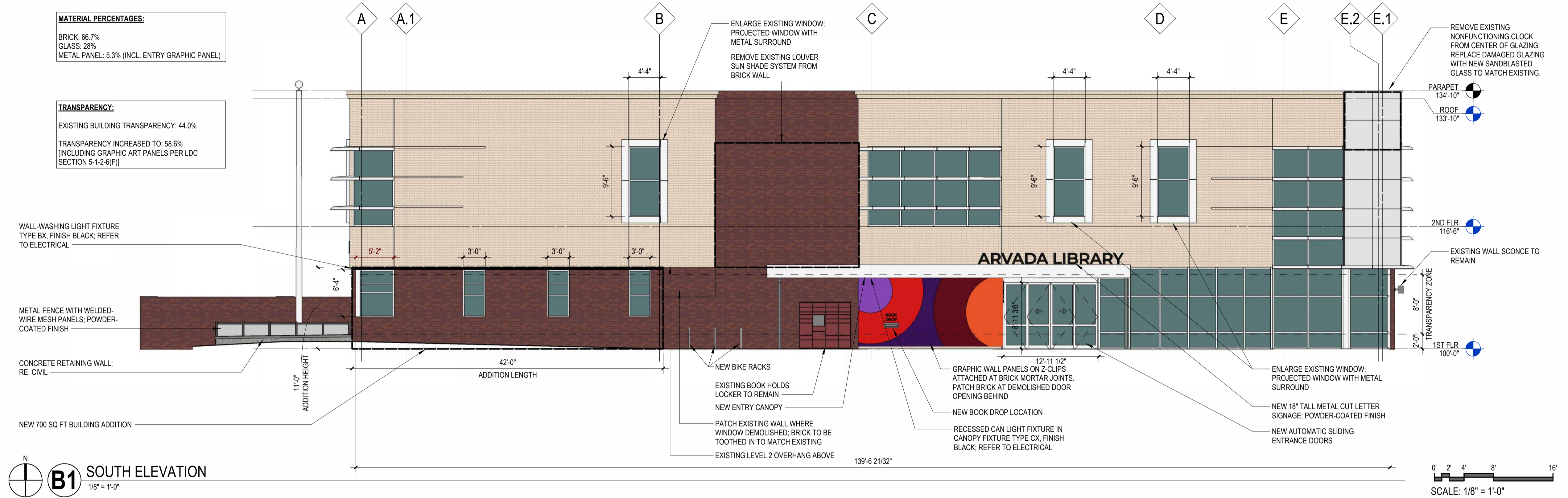
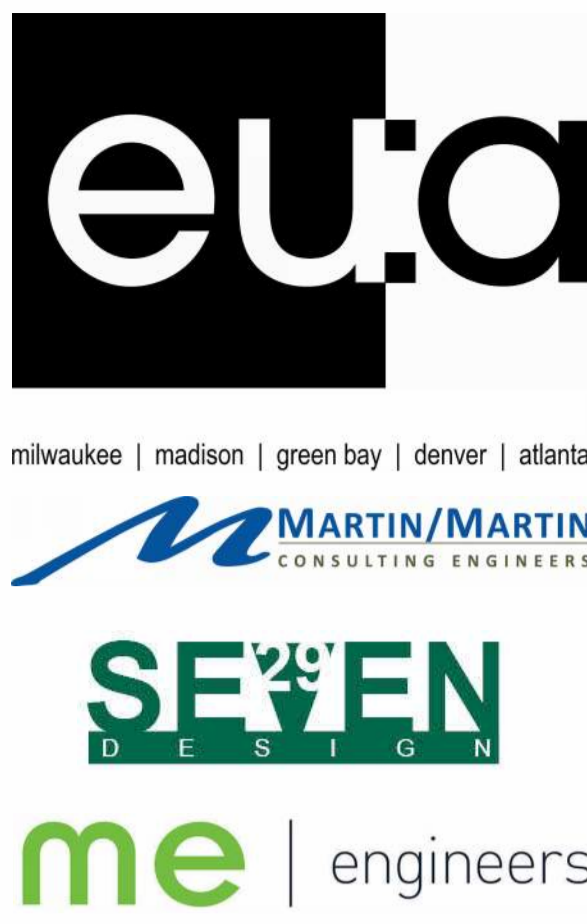
SHEET 6 OF 9

1 SITE LIGHTING PHOTOMETRIC PLAN
1" = 10'-0"

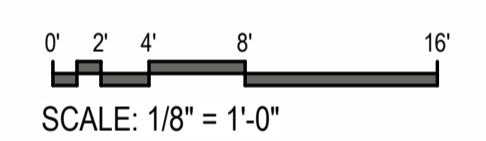


JEFFERSON COUNTY PUBLIC LIBRARY - ARVADA LIBRARY
7525 W 57th Ave. Arvada, CO 80002
Arvada Library Site Plan

General Notes:
Rooftop mechanical equipment and appurtenances should all be screened from a public street through the use of parapets or enclosures that are equal to, or greater than, the height of the equipment to be screened. The parapet or enclosure shall use one of the predominant materials or colors used on the primary facade of the building.
All air conditioning compressors shall be completely screened. If a screening enclosure is used, it shall utilize at least one of the predominant materials used on the facade of the primary structure, where feasible, and one of the predominant colors used on the primary structure.
All rooftop and wall vents and flues on a pitched roof or extending above the top of the nearest parapet shall be painted with one of the predominant colors used in the primary structure.
Wall-mounted utility equipment and meters shall be screened from view from a public street and shall be painted a color to blend with the building facade.

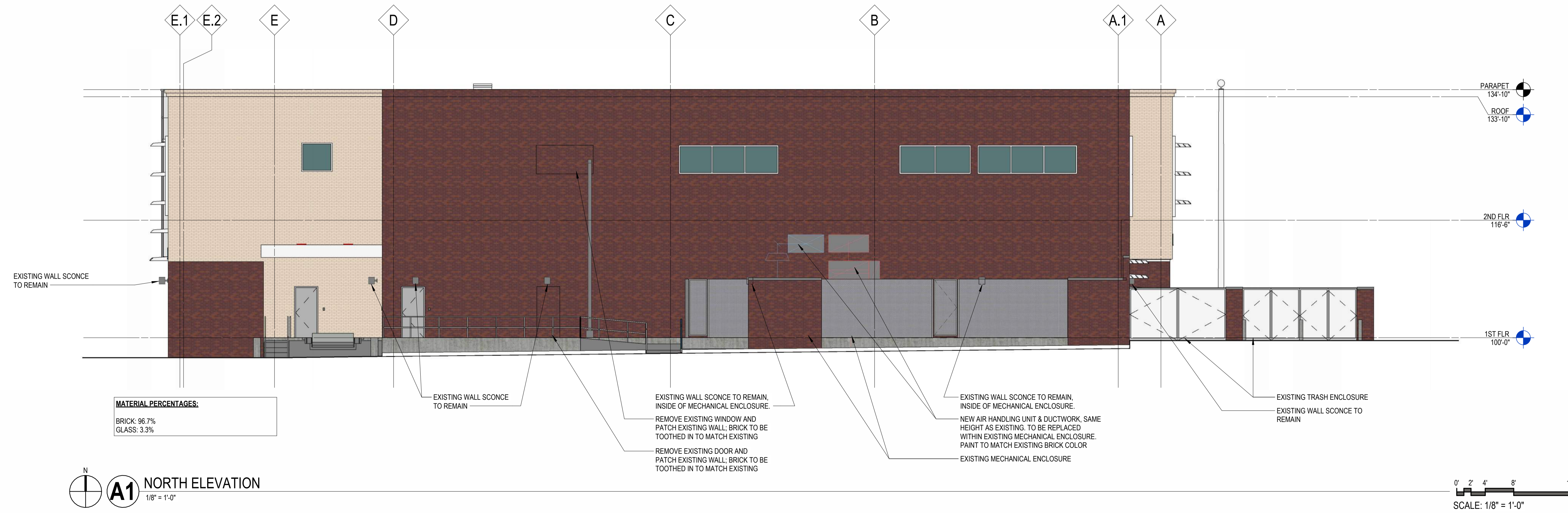


B1 SOUTH ELEVATION
1/8" = 1'-0"

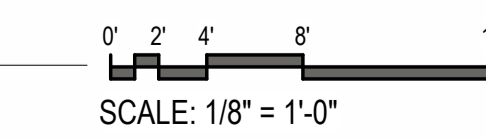


ISSUANCE AND REVISIONS

| DATE | DESCRIPTION |
|------------|------------------------|
| 07.09.2025 | Site Plan Submittal |
| 09.12.2025 | Site Plan Submittal #2 |



A1 NORTH ELEVATION
1/8" = 1'-0"



SHEET INFORMATION



PROJECT MANAGER: KW
PROJECT NUMBER: 821341.03

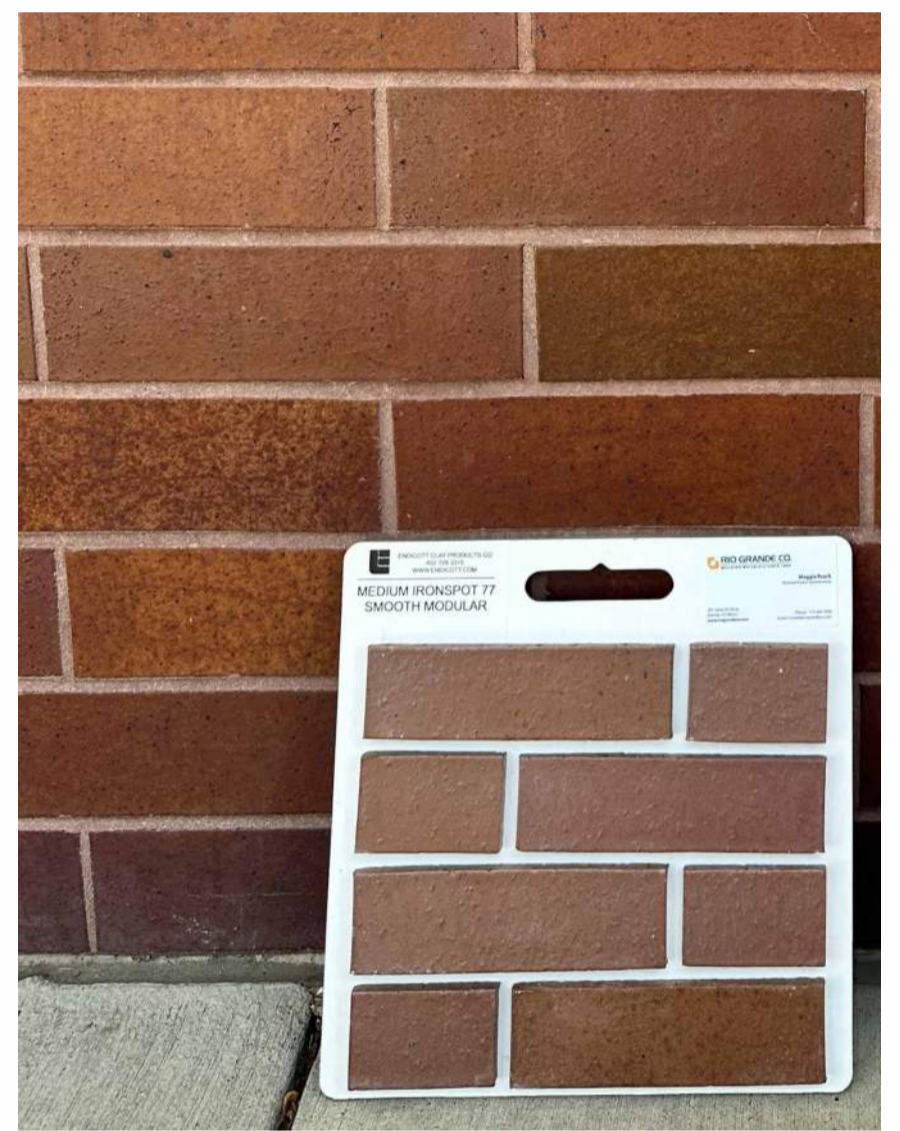
ARCHITECTURAL ELEVATIONS

JEFFERSON COUNTY PUBLIC LIBRARY - ARVADA LIBRARY
7525 W 57th Ave. Arvada, CO 80002
Arvada Library Site Plan

General Notes:
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EXTERIOR BUILDING MATERIALS



RED BRICK
TO MATCH EXISTING



CLEAR ANODIZED ALUMINUM
FINISH FOR: NEW WINDOWS, STOREFRONT SYSTEMS, CANOPY FASCIA, WINDOW SURROUNDS



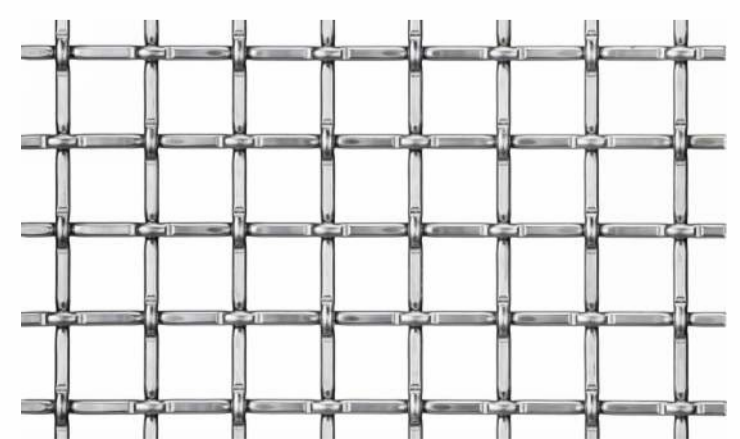
GREY BRICK
TO MATCH EXISTING



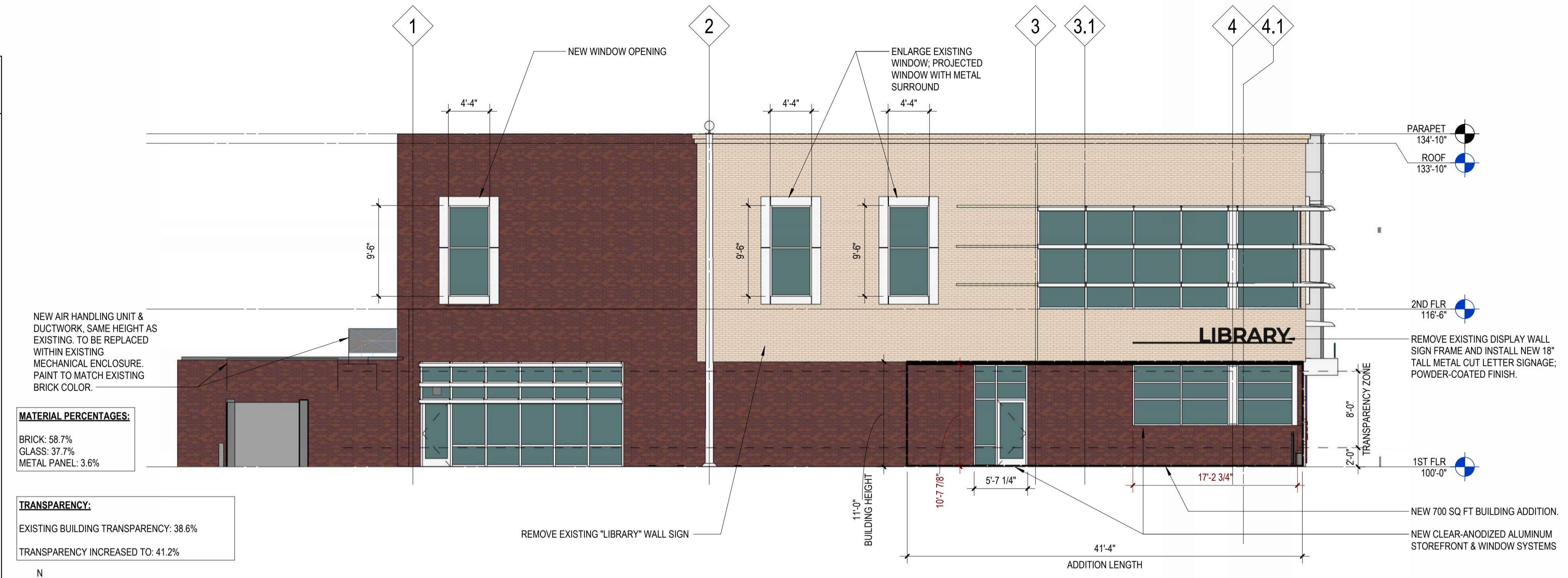
VISION GLASS



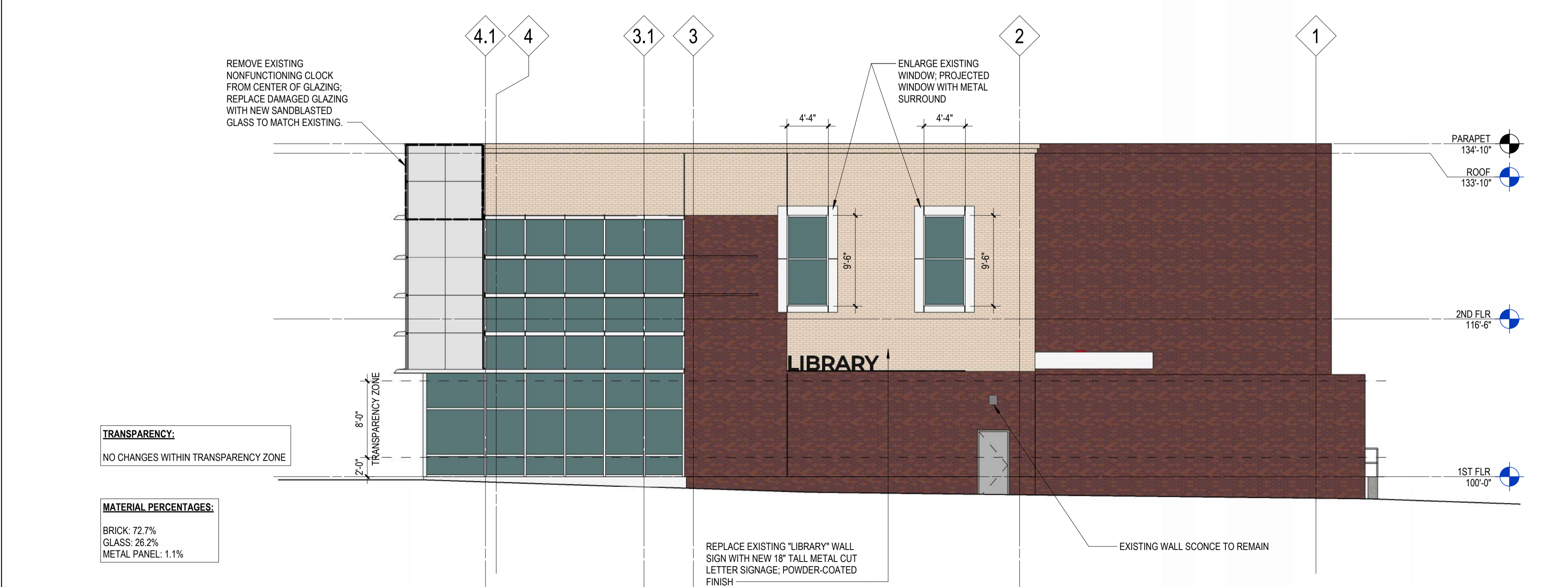
STUCCO PLASTER SOFFIT
TO MATCH EXISTING



WELDED WIRE MESH
AT PROPOSED FENCE: POWDER-COATED FINISH, COLOR TBD BY ARCHITECT



B3 WEST ELEVATION
1/8" = 1'-0"



A3 EAST ELEVATION
1/8" = 1'-0"

ISSUANCE AND REVISIONS

| DATE | DESCRIPTION |
|------------|------------------------|
| 07.09.2025 | Site Plan Submittal |
| 09.12.2025 | Site Plan Submittal #2 |

SHEET INFORMATION

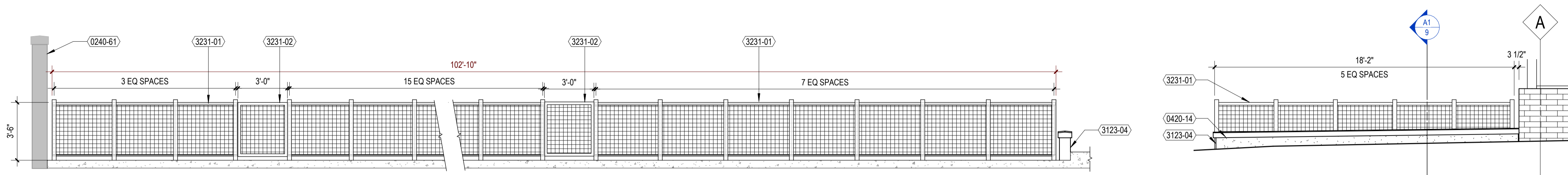


PROJECT MANAGER: KW
PROJECT NUMBER: 821341.03

ARCHITECTURAL ELEVATIONS

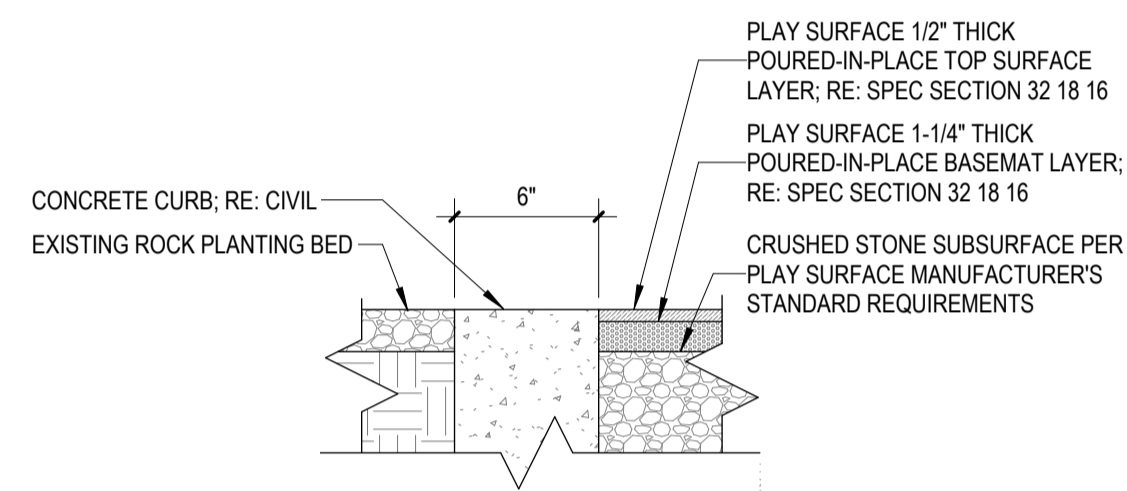
SHEET 8 OF 9

JEFFERSON COUNTY PUBLIC LIBRARY - ARVADA LIBRARY
7525 W 57th Ave. Arvada, CO 80002
Arvada Library Site Plan

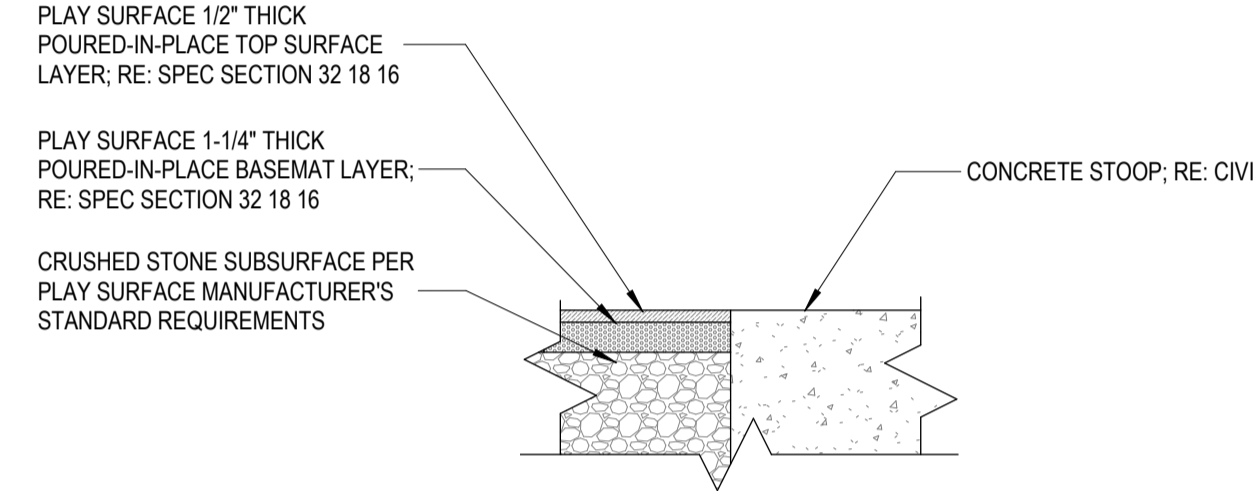


D1 WEST FENCE ELEVATION
1/4" = 1'-0"

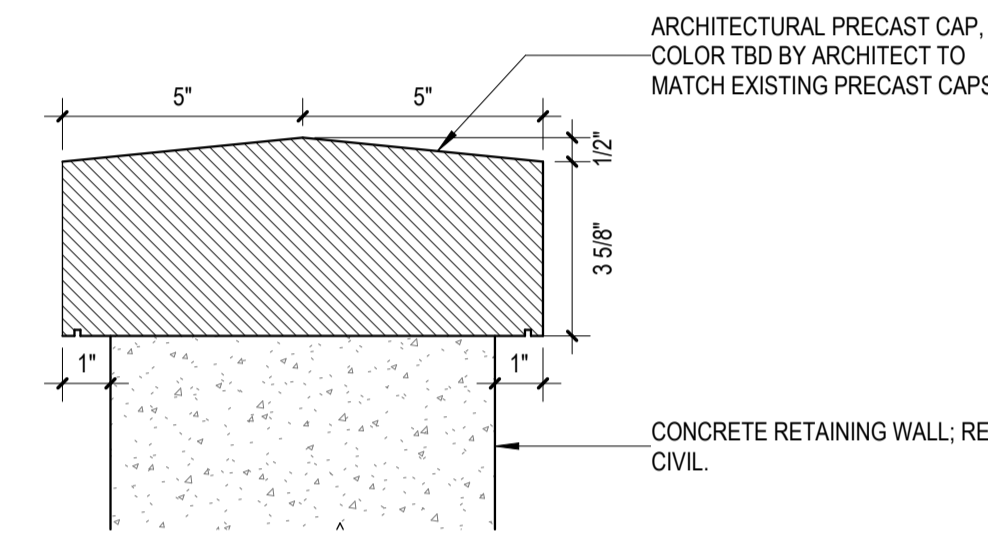
D4 SOUTH FENCE ELEVATION
1/4" = 1'-0"



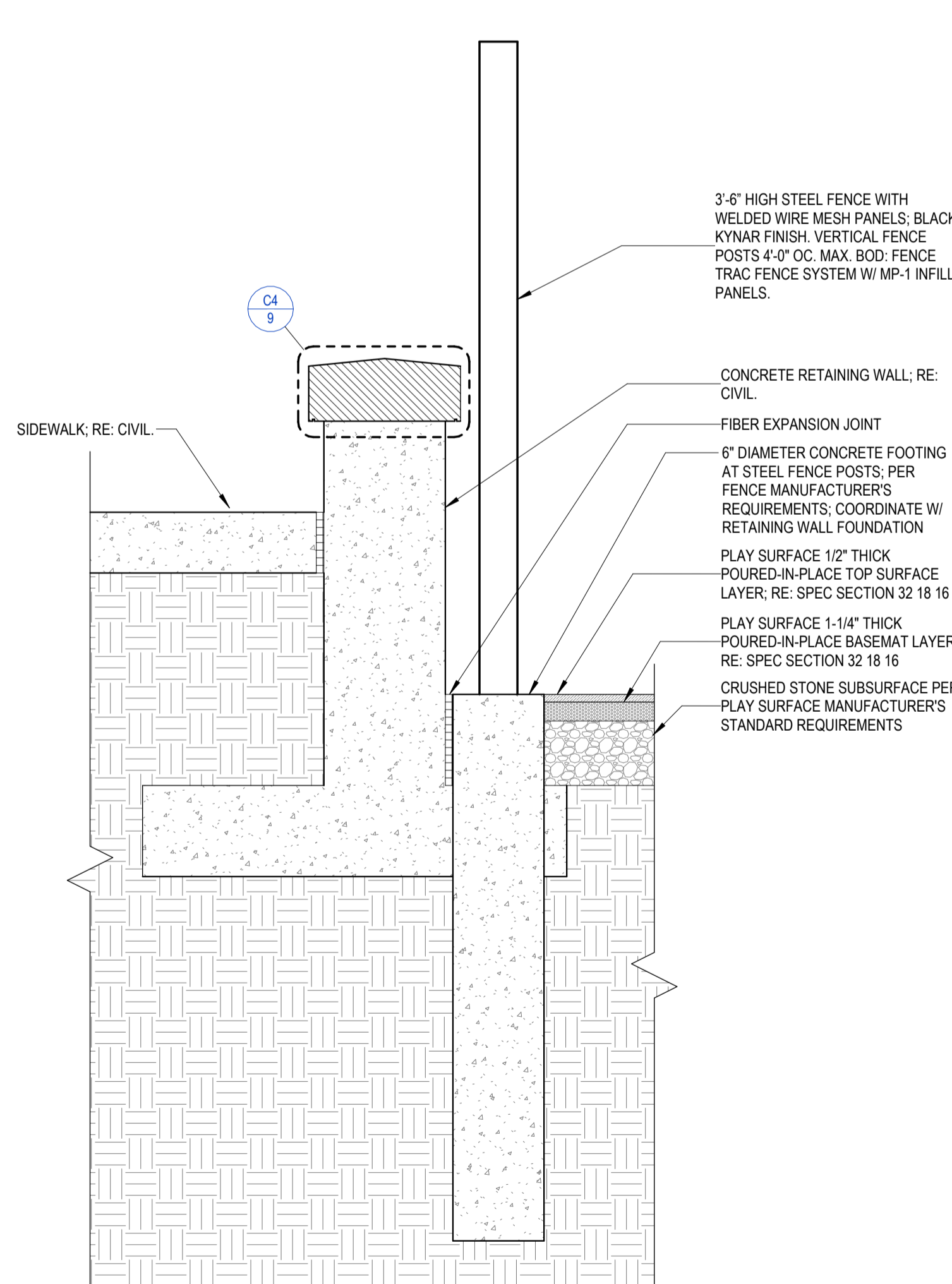
C1 CONCRETE CURB TO PLAY SURFACE TRANSITION
1 1/2" = 1'-0"



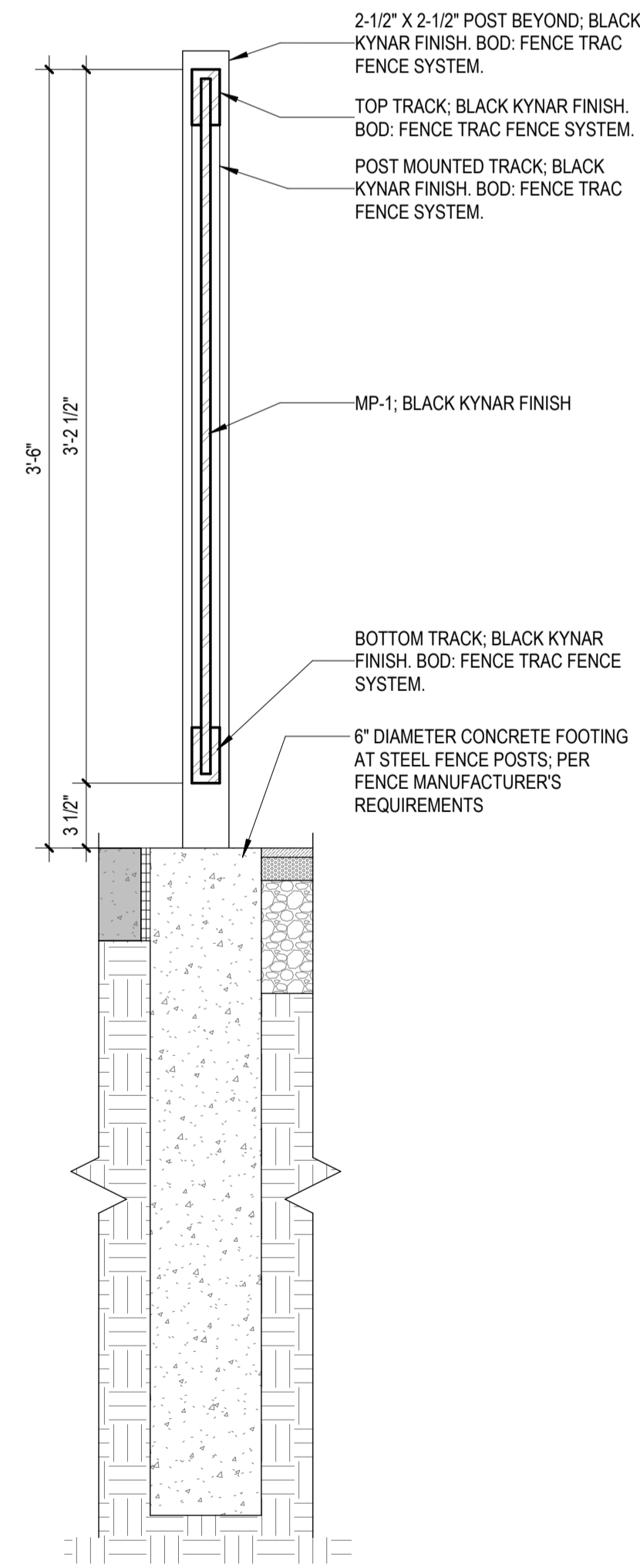
C2 CONCRETE STOOP TO PLAY SURFACE TRANSITION
1 1/2" = 1'-0"



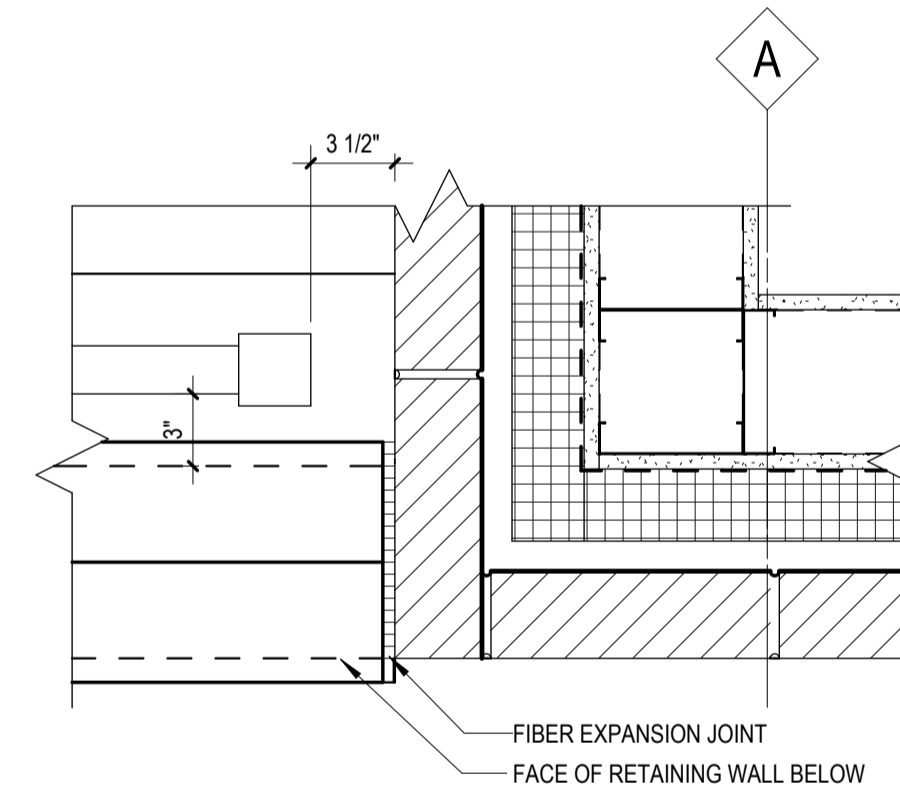
C4 RETAINING WALL CAP
3" = 1'-0"



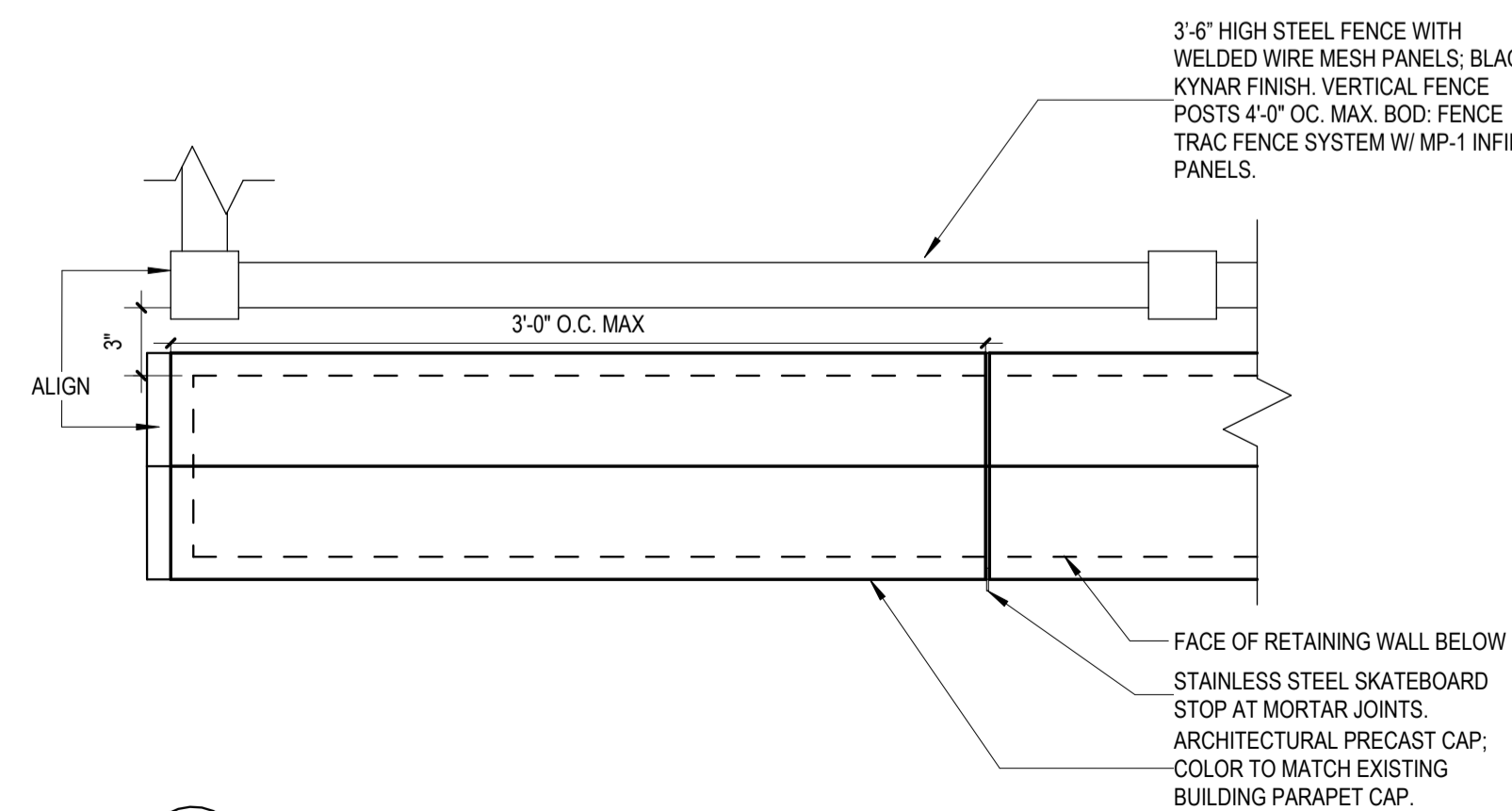
A1 FENCE / RETAINING WALL DETAIL
1 1/2" = 1'-0"



A3 FENCE SECTION, TYP.
1 1/2" = 1'-0"



B4 FENCE/RETAINING WALL DETAIL AT EXTERIOR WALL
1 1/2" = 1'-0"



A4 RETAINING WALL CAP PLAN DETAIL
1 1/2" = 1'-0"



milwaukee | madison | green bay | denver | atlanta

D MARTIN/MARTIN CONSULTING ENGINEERS



me | engineers

C

ISSUANCE AND REVISIONS

| DATE | DESCRIPTION |
|------------|------------------------|
| 07.09.2025 | Site Plan Submittal |
| 09.12.2025 | Site Plan Submittal #2 |

B

SHEET INFORMATION



PROJECT MANAGER KW

PROJECT NUMBER 821341.03

A

ARCHITECTURAL DETAILS