

City of Arvada

Design Review Advisory Committee

Agenda

OCTOBER 19, 2023

Info: 720-898-7435

Members:

Debbie Pearson, Olde Town Residents Representative
Scott Spears, Business Owner Representative
William Cheever, At-Large Representative
Danielle Vorthmann, At-Large Representative
Fong Lee, At-Large Representative
Peter Kazura, Olde Town BID Representative
Steve Byers, Arvada Historical Society Representative

Staff Members Usually Present:

Jessica Garner, Dir. of Community and Econ Development
Emily Grogg, Senior Assistant City Attorney
Claudia Vaughan, Manager of Development Engineering
Josie Suk, Systems and Administrative Manager
Heidi Van Gieson, Administrative Specialist
Dixielee Rodriguez, Administrative Specialist

CITY COUNCIL CONFERENCE ROOM

9:00 AM

1. CALL TO ORDER
2. ROLL CALL OF MEMBERS
3. APPROVAL OF MINUTES
 - A. August 17, 2023 Meeting Minutes
4. APPLICATIONS
 - A. Certificate of Compliance with the Design Guidelines for modifications to the existing structure at 5690 Yukon
5. OTHER ITEMS
 - A. Introduction of New Director - Jessica Garner
6. ADJOURN



**DESIGN REVIEW COMMITTEE
SUMMARY OF MEETING MINUTES
AUGUST 17, 2023
AT 9:00 A.M.**

Design Review Committee minutes are not an exact transcript and represent key points and the basis of discussion.

1. **CALL TO ORDER – 9:00 A.M.**

2. **ROLL CALL OF MEMBERS** –William Cheever, Fong Lee, Peter Kazura (zoom) Steve Byers, Danielle Vorthmann

THOSE ABSENT: Debbie Pearson, Scott Spears

3. **MOTION**

It was moved by Mr. Cheever to excuse the absence of Debbie Pearson and Scott Spears.

The following votes were cast on the motion:

Those voting Yes: Cheever, Kazura, Lee, Byers, Vorthmann

Those voting No: None

Those absent: Pearson, Spears

The motion carried 5-0

ALSO PRESENT: Rob Smetana, Acting Director of Community and Economic Development; and Manager of City Planning and Development; Emily Grogg, Sr. Ass't. City Attorney; Cheryl Drake, Senior Planner; Josie Suk, Systems and Administrative Manager; Heidi Van Gieson, Administrative Specialist/Recording Secretary; Dixie Rodriguez, Administrative Specialist; Anna Spelke, applicant/owner

4. **APPROVAL OF MINUTES FOR – July 21, 2021 - Minutes are approved as printed.**

5. **MOTION**

It was moved by Mr. Cheever to move the Elections to the end of the meeting.

The following votes were cast on the motion:

Those voting Yes: Cheever, Kazura, Lee, Byers, Vorthmann

Those voting No: None

Those absent: Pearson, Spears

The motion carried 5-0

6. **PUBLIC COMMENT**

None

7. **APPLICATIONS**

DA2023-0054- Spelke Residence CCDG 7317 Grant Place Certificate of Compliance with Design Guidelines

Cheryl Drake stated that the applicant is looking to do a first and second story addition on the rear of their residence.

Ms. Anna Spelke presented the project of the proposed second story rear addition to the existing building to gain more habitable square footage. The current 2 Bedroom, 1 Bathroom Bungalow will be converted to a 3 Bedroom, 2 and a half Bathroom Primary Home on the first and second Floors with a conforming 2 Bedroom, 1 Bathroom Mother-in-Law Suite in the basement while maintaining the historical integrity of the home. The intent of the design is to preserve the Historic Structures Bungalow Aesthetic. The new addition and shed dormers are placed at the rear of the property to obstruct the view from the street. The new additions footprint is stepped in to respect the primary historic structure. The primary facade remains the same other than restoring the original chimney that was removed previously. The 1970's addition that is being proposed to be demoed is poorly constructed, the foundation is failing and It has uninsulated walls that do not comply with current codes. The east facing Living Room window is not original and not well constructed. Conversion of the East vent to a window was vetted to comply with the 2018 IRC second story bedroom egress window. The west enter door is required for Mother-In-Law suite access. Total demo of the original structure is 23%.

Ms. Spelke and Ms. Drake showed visuals/architectural elevations and reviewed what it will look like when done.

Mr. Lee stated that it is nice that they designed it so that it cannot be seen from the street, but it is kind of sad that people will not be able to see it.

COMMITTEE DISCUSSION

Mr. Cheever questioned the waiver or approval they would be looking at for this project.

Ms. Drake confirmed that he was correct.

Mr. Cheever stated that he would echo Mr. Lee's comments, that this a very well thought out design and that it is very respectful to the historic district. He questioned the windows that will be used.

Ms. Spelke stated that the previous owner had replaced the windows for Fiberglass windows with simulated divided lites, so they will be using those and have found the ones that match that to replace the rest of the windows.

Peter Arrived in Person at 9:13 am

Scott joined by zoom at 9:13 am

Mr. Spears stated that the project is a great design.

Ms. Vorthmann agreed with what Mr. Spears said that it was a very thoughtful design and she appreciated that they kept with the historic look.

MOTION

It was moved by Mr. Byers that the Certificate of Compliance with Design Guidelines for the Spelke Residence located at 7317 Grant Place that the following recommendations be adopted and transmitted to the Community and Economic Development Director; option 2: that a partial waiver be granted from design guidelines 3.23 (preserve window functions), 3.26 (preserve window opening size), 3.27 (match replacement windows design), 3.29 (match window profile), 3.30 (match window divisions), 3.31 (window energy efficiency), 3.36 (similar replacement door design) and 3.75 (preserve older addition) based on the determination that the criteria on page 16 of the staff report comply which is #2.

DISCUSSION ON MOTION

None

The following votes were cast on the motion:

Those voting Yes: Cheever, Kazura, Lee, Byers, Vorthmann, Spears

Those voting No: None

Those absent: Pearson

The motion carried 6-0

6. ELECTIONS

Mr. Cheever was nominated as Chair

The following votes were cast on the motion:

Those voting Yes: Cheever, Kazura, Lee, Byers, Vorthmann, Spears

Those voting No: None

Those absent: Pearson

The motion carried 6-0

Mr. Lee was nominated as Vice Chair

The following votes were cast on the motion:

Those voting Yes: Cheever, Kazura, Lee, Byers, Vorthmann, Spears

Those voting No: None

Those absent: Pearson

The motion carried 6-0

Mr. Kazura was nominated as Secretary

The following votes were cast on the motion:

Those voting Yes: Cheever, Kazura, Lee, Byers, Vorthmann, Spears

Those voting No: None

Those absent: Pearson

The motion carried 6-0

7. **OTHER ITEMS**

Mr. Smetana explained that there is a Pre-application for the old service station at Yukon and Grandview. AURA has purchased it and is looking to possibly get users to make it into a restaurant, and is looking to possibly add a canopy to the exterior. If they do move forward with that project, the group will be seeing that hopefully in the next 6 months.

Mr. Byers asked if we would be bringing back murals to the group? Ms. Grogg stated that they would only bring those to the group if there was a way to not violate first amendment law. Mr. Smetana stated that if there was something that changed a historic facade or painting the brick, that would be brought to the group. Ms. Grogg stated that yes, they can look at location or a mural, but whether or not we like the mural.

Mr. Cheever asked if someone is going to be absent that they email the chair and vice chair. Josie Suk asked if they could reply to the sender, chair and CED boards and commissions as well. Ms. Suk stated that we have to keep track of attendance.

Group went around and introduced themselves for Danielle.

8. **ADJOURN – 9:30 A.M.**

William Cheever, Vice Chair

Scott Spears, Secretary

Heidi Van Gieson, Recording Secretary

The partial waiver includes the condition that the softening of the second story colors be further reviewed by City staff, and that a landscape plan be submitted to the City in the near future. Ms. Pearson also moved that a full waiver from



REPORT TO DESIGN REVIEW ADVISORY COMMITTEE

AGENDA ITEM
4.A.

TO: PLANNING COMMISSION

DATE: October 19, 2023

SUBJECT: Certificate of Compliance with the Design Guidelines for modifications to the existing structure at 5690 Yukon

Report in Brief

MOTION:

MOVED BY: _____

That as to Certificate of Compliance with Design Guidelines for the 5690 Yukon St Remodel located at 5690 Yukon St, and the following recommendation be adopted and transmitted to the Community & Economic Development Director:

OPTIONS:

(1) ___ That the application be found in compliance with all applicable Design Guidelines set forth in the Design Guidelines for Olde Town Arvada.

2) ___ That a partial waiver be granted from Design Guidelines 3.35 (Replacement Door Material) and 3.36 (Replacement Door Design) based on a determination that criteria No(s) ___ on Page 13 of the staff report apply.

AND that, as to all other applicable Design Guidelines, the application be found in compliance therewith.

(3) ___ That a full waiver be granted from the Design Guidelines because: (cite the applicable subparagraphs from 8-3-5-4 of the LDC)

(4) ___ That the application be denied as failing to comply with the following specific Design Guideline(s), with no Waiver being appropriate (cite guideline).

Prepared by:

Heidi Van Gieson, Administrative Specialist

Reviewed by:

Approved by:

Enclosure, exhibits & attachments required to support the report

Arvada Design Review Advisory Committee
Staff Report
DA2023-0044

NATURE OF REQUEST AND LAND USE ACTIVITY SUMMARY

The applicant, M-A Architects, has requested a Certificate of Compliance with the Olde Town Design Guidelines for a variety of modifications to the existing building at 5690 Yukon Street in order to facilitate adaptive reuse of the building from a church into a commercial building. A restaurant is the intended end user on the main level and while an end user has not been identified for the garden level, it will likely be some combination of prep kitchen and office uses.

The majority of the proposed modifications are intended to restore the existing building facade to its historic condition. These modifications include reestablishing the original primary entrance to the building on the west façade of the bell tower, including a staircase that reflects the design and scale of the original; restoring the window opening on the north side of the bell tower; removing the diagonal siding at the base of the building and restoring the garden level windows; removing the railing that was added to the belfry; and removing the existing altered windows and replacing them with windows that appear to be consistent with historic photographs. In addition to these modifications that are intended to restore the building to its historic condition, the applicant is also proposing to replace all the doors on the building with aluminum doors, add an additional window to the rear façade on the educational wing addition, remove the attached shed-like addition over stairs to the basement and replace it with bulkhead doors, in-fill windows on the south façade, and remove the parking off the alley for outdoor dining. The outdoor dining area will include an uncovered raised deck, new paving, and additional landscaping.

HISTORY OF THE SITE AND SIGNIFICANCE TO THE HISTORIC DISTRICT

The existing building consists of the original Arvada Presbyterian Church building which is the northern portion of the existing building, including the bell tower, and an educational wing addition located on the south side of the original building. The predominant façade material on the original building is a light tan brick whereas the predominant façade material on the addition is Roman brick. The Arvada Presbyterian Church began construction of the original building in 1915 and it was finished in 1916. Construction on the educational wing addition was completed in 1952.

The historic property survey on file with the City includes the following statement of significance:

This building is associated with the religious history of Arvada, having been erected in 1916 as the Arvada Presbyterian Church. The building represents vernacular church design through its hipped roof with overhanging eaves, corner bell tower, and tall windows with colored lights. 2013 update: (the building) is located in the Arvada Downtown Historic District, which is listed on the NRHP as significant under Criteria A and C under the areas of commerce, architecture, social history, and transportation. This property is significant under Criteria A and C.

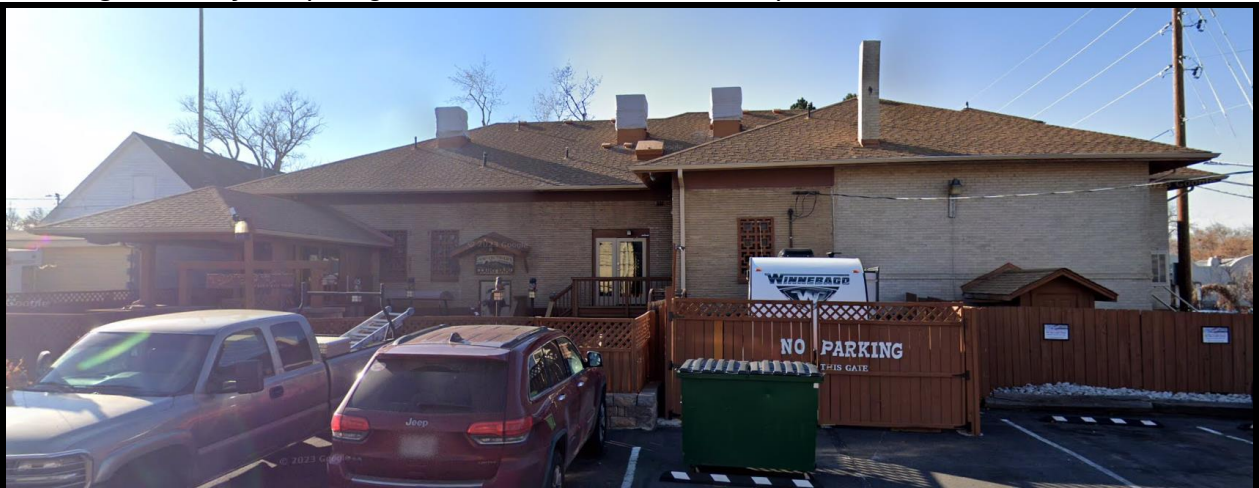
The historic property survey also includes an assessment of historic physical integrity related to significance which states:

The wing addition (i.e., education wing addition) on the south has compromised the integrity of design. The entrance alterations, belfry alterations, window alterations, and the addition of the diagonal siding from water table to grade are all visible additional changes in the building's appearance that compromise the integrity of workmanship, materials, and feeling. In this 2013 evaluation, we conclude that this property has retained integrity of location, setting, and association. SWCA (SWCA Environmental Consultants) agrees with the previous determination made by the Colorado SHPO (State Historic Preservation Office) that this property, while not individually eligible for listing on the NRHP, is contributing to the Arvada Downtown Historic District (i.e., Olde Town Arvada).

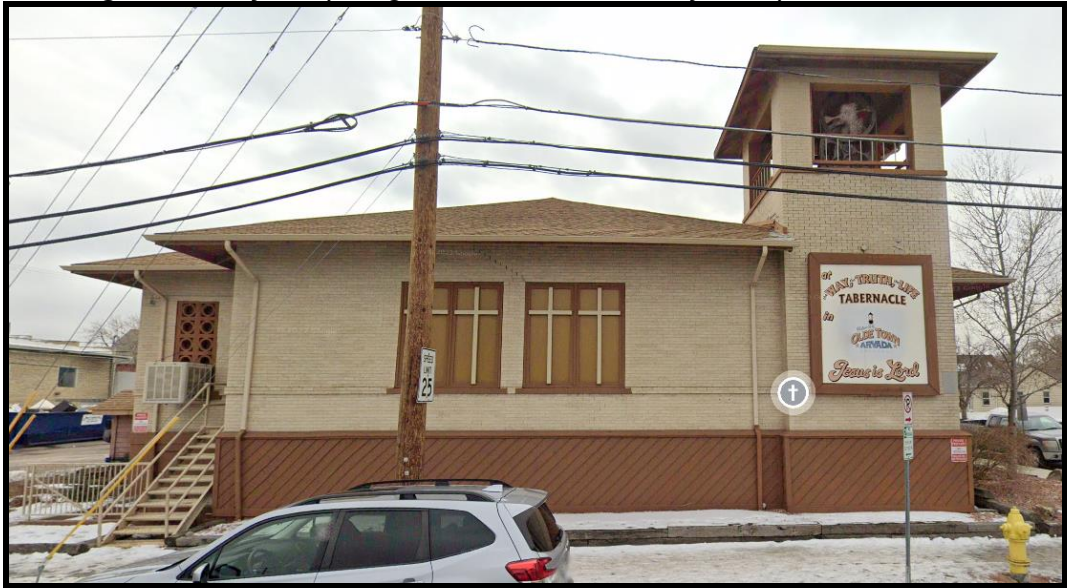
Existing West Façade (Google Streetview, April 2022)



Existing East Façade (Google Streetview, November 2018)



Existing North Façade (Google Streetview, February 2022)



Historic Photo of Education Win Addition (1952)



Historic Photo of West Facade (1952)



Proposed Rendering of North and West Facades



Proposed Rendering of East and North Facades



COMPLIANCE ANALYSIS

The design guidelines applicable to this project are evaluated in the following discussion.

Section III. Treatment of Historic Resources

3.1 Preserve significant stylistic and architectural features.

- Storefronts, cornices, porches, turned columns, brackets, exposed rafter tails and jigsaw ornaments are examples of architectural features that should be preserved.
- Employ preventive maintenance measures such as rust removal, caulking and repainting.
- Do not remove or alter architectural details that are in good condition or that can be repaired.

All significant stylistic and architectural features are being preserved and many significant features are being restored such as the original entrance on the west façade of the bell tower and a window on the north façade of bell tower. In addition, the railings are being removed from the bell tower and the diagonal siding on the base of the building are being removed. The historic survey stated that these features, “compromise the integrity of workmanship, materials, and feeling.”

3.2 Repair deteriorated features.

- Patch, piece-in, splice, consolidant or otherwise upgrade existing materials, using recognized preservation methods.
- Isolated areas of damage may be stabilized or fixed using consolidants. Epoxies and resins may be considered for wood repair.
- Removing a damaged feature that can be repaired is not appropriate.

- Protect significant features that are adjacent to the area being worked on.

The exterior of the building appears to be in relatively good condition. Other than repairing a hole in the wall on the east façade that appears to have been previously used for mechanical equipment, there are no obvious deteriorated features. This hole will be repaired to match the surrounding façade materials.

3.3 When disassembly of a historic element is necessary for its repair, use methods that minimize damage to it.

- When removing a historic feature, document its location so it may be repositioned accurately.

Not applicable, at this time, there is no need to disassemble a historic element of the building.

3.4 Use technical procedures for cleaning, refinishing and repairing an architectural detail that will maintain the original finish.

- Use the gentlest means possible that will achieve the desired results.
- Employ treatments such as rust removal, caulking, limited paint removal and reapplication of paint or stain where appropriate.

Not applicable, at this time, other than gently cleaning the existing brick, there is no need to clean, refinish, or repair architectural detail.

3.5 When reconstructing an element is impossible, develop a new design that is a compatible interpretation of it.

- The new element should be similar to comparable features in general size, shape, texture, material, and finish.

The stairway to the original entrance will be restored using historical photos and will be comparable to the original building in terms of size, shape, texture, materials, and finish.

3.6 Replace an architectural element accurately.

- The design should be substantiated by physical or pictorial evidence to avoid creating a misrepresentation of the building's history.
- Use the same kind of material as the original when feasible. However, a substitute material may be acceptable if the size, shape, texture and finish conveys the visual appearance of the original. Alternative materials are usually more acceptable in locations that are remote from view or direct contact.
- Restore altered openings on primary facades to their original configuration, when feasible.

Architectural elements such as the original entrance on the west façade of the bell tower and the window on the north façade of the bell tower, along the garden level windows are being restored using historical photographs.

3.7 Avoid adding details that were not part of the original building.

- For example, decorative millwork should not be added to a building if it was not an original feature. Doing so would convey a false history.

Not applicable, no architectural details that were not part of the original building are being added.

3.8 Preserve original building materials.

- Avoid removing original materials that are in good condition.
- Remove only those materials which are deteriorated, and must be replaced.
- Masonry features that define the overall historic character, such as walls, cornices, pediments, steps and foundations, should be preserved.
- Avoid rebuilding a major portion of exterior masonry walls that could be repaired.

Not applicable, no original materials are being removed and there are no plans to rebuild any exterior masonry walls.

3.9 Repair deteriorated primary building materials.

- Repair by patching, piecing-in, consolidating or otherwise reinforcing the material.

As stated above, the exterior of the building appears to be in relatively good condition and there are no obvious deteriorated building materials; however, the applicant has committed to appropriately repairing any building materials as necessary.

3.10 When replacing materials on primary surfaces, match the original material in composition, scale and finish.

- If the original material is wood clapboard, for example, then the replacement material should be wood as well. It should match the original in size, the amount of exposed lap and in finish.
- Replace only the amount required. If a few boards are damaged beyond repair, then only they should be replaced, not the entire wall.
- If a wood porch or deck floor needs replacement because of significant deterioration, a substitute material may be considered in this case. Recycled materials may be an appropriate replacement material to consider.

There are no plans to replace materials on the primary building surface. The stairway to the original entrance will be restored using masonry that is comparable to the original building in terms of size, shape, texture, materials, and finish. All new windows will be wood clad.

3.11 Do not use synthetic materials, such as aluminum, vinyl or panelized brick, as replacements for primary building materials.

- Primary building materials, such as wood siding and masonry, should not be replaced with synthetic materials.
- Modular materials should not be used as replacement materials. Synthetic stucco and panelized brick, for example, are inappropriate.

- In some instances, substitute materials may be used for replacing architectural details. If a new material is used, its style and detail should match the historic model.
- Green building materials, such as those made with renewable and local resources, may be considered for replacement materials where they will not impact the integrity of a building or its key features.

No synthetic materials identified in guideline 3.11 will be used. The stairway to the original entrance will be restored using masonry that is comparable to the original building in terms of size, shape, texture, materials, and finish. All new windows will be wood clad.

3.12 Covering original building materials with new materials is inappropriate.

- Vinyl siding, aluminum siding and new stucco are generally inappropriate on historic buildings. Other imitation materials that are designed to look like wood or masonry siding, fabricated from other materials, are also inappropriate.
- If a property already has a non-historic building material covering the original, it is not appropriate to add another layer of new material, which would further obscure the original.

Not applicable, no original building materials will be covered.

3.13 Consider removing later covering materials that have not achieved historic significance.

- Once the non-historic siding is removed, repair the original, underlying material.
- If a structure has a stucco finish, removing the covering may be difficult, and may not be desirable. Test the stucco to assure that the original material underneath will not be damaged.

As previously stated, the applicant is proposing removing the diagonal siding at the base of the building that the historic survey found to compromise the integrity of the building.

3.14 Use the gentlest means possible to clean the surface of a structure.

- If cleaning is appropriate, a low-pressure water wash is preferred. Chemical cleaning may be considered if a test patch is first reviewed and negative effects are not found.
- Perform a test patch to determine that the cleaning method will cause no damage to the material surface.
- Harsh cleaning methods, such as sandblasting, can damage historic materials, changing their appearance. Such procedures are inappropriate.

At this time, the only proposed cleaning will be done to the brick façade. This cleaning will adhere to this guideline.

3.15 Protect wood features from deterioration.

- Provide proper drainage and ventilation to minimize rot.
- Maintain protective coatings to retard drying and ultraviolet damage.

There is very little exterior wood on the building. During construction preventative maintenance will be done as needed.

3.16 Preserve significant architectural metal features.

- Provide proper drainage on metal surfaces to minimize water retention.
- Maintain protective coatings, such as paint, on exposed metals.

Not applicable, there are no significant metal features that are being altered.

3.17 Repair metal features by patching, splicing or otherwise reinforcing the original metal whenever possible.

- New metal shall be compatible with the original.

Not applicable, there are no metal features in need of repair.

3.18 Brick or stone that was not painted historically should not be painted.

- Masonry naturally has a water-protective layer, or patina, to protect it from the elements. Painting masonry walls can seal in moisture already in the masonry, thereby not allowing it to breathe and causing extensive damage over the years.

Not applicable, none of the existing unpainted brick is proposed to be painted.

3.19 Repoint mortar joints where there is evidence of deterioration.

- Duplicate the old mortar in strength, composition, color and texture.
- Avoid using mortar with a high portland cement content, which will be substantially harder than the original.
- Duplicate the mortar joints in width and profile.

If necessary, mortar joints will be repointed in a manner that complies with this guideline.

3.20 Preserve significant concrete features.

- Examples are walls, cornices, pediments, steps, chimneys and foundations.
- Avoid rebuilding a major portion of an exterior concrete wall that could be repaired.

Not applicable, there are no plans to modify any existing significant concrete features.

3.21 Plan repainting carefully.

- Always prepare a good substrate. Prior to painting, remove damaged or deteriorated paint only to the next intact layer, using the gentlest means possible.
- Use compatible paints. Some latex paints will not bond well to earlier oil-based paints without a primer coat.

All painting will comply with this guideline.

3.22 Using the historic color scheme is encouraged.

- If the historic scheme is not known, then an interpretation of schemes on similar historic buildings is appropriate.
- Generally, one muted color is used as a background, which unifies the composition.
- One or two other colors are usually used for accent to highlight details and trim. These should be applied consistently, for example, do not paint windows a different color.
- Brilliant luminescent and day-glow colors are inappropriate.
- High gloss paints and finishes are inappropriate.

The historic color scheme is not known given that all historic photographs are black and white. However, the predominant color scheme is comprised of blond bricks and they will not be painted. The darker painted fascia and trim will be maintained and all windows and door colors will be selected to complement the trim color.

3.23 Preserve the functional and decorative features of a historic window.

- Features important to the character of a window include its frame, sash, muntins, mullions, glazing, sills, heads, jambs, moldings, operation and groupings of windows. See the following diagrams for an illustration of window features.
- Repair frames and sashes rather than replacing them, whenever possible.
- Window awnings may be used and should be compatible with the building.

Staff and the applicant do not believe the existing windows are original. All windows on the proposed plan have been selected based on historic photography and therefore, should restore the functional and decorative features of the windows.

3.24 Preserve the position, number and arrangement of historic windows in a building wall.

- On primary facades, enclosing a historic window opening is inappropriate, as is adding a new window opening.

All window openings on the primary facades (i.e., west and north facades) are being preserved, and the window openings on the north façade of the bell tower and the garden level are being restored. In addition, the windows above the primary entrance to the educational wing addition are also being restored. The applicant is proposing a new window opening on the east façade (alley facing). This window is on the educational wing addition which the historic survey found to compromise the integrity of the structure. The plans also propose to remove the decorative CMU blocks from all window openings on the north and east elevations and install new historically appropriate windows. The windows on the south façade are proposed to be removed and in-filled with the decorative CMU blocks removed from the other windows. However, the window openings will be preserved so that they can be restored in the future. These windows are also on the educational wing addition.

3.25 Preserve the historic ratio of window openings to solid wall on a primary facade.

- Significantly increasing the amount of glass on a character-defining facade will negatively affect the integrity of the structure.

The historic ratio of window openings will not only be preserved on the primary façade, it will be restored by reestablishing the garden level windows and the window on the north façade of the bell tower.

3.26 Preserve the size and proportion of a historic window opening.

- Reducing an original opening to accommodate a smaller window or increasing it to receive a larger window is inappropriate.

There are no plans to alter the size or proportion of window openings on the original building.

3.27 Match a replacement window to the original in its design.

- If the original is double-hung, then the replacement window should also be double-hung or appear to be so. Match the replacement also in the number and position of glass panes.
- Matching the original design is particularly important on key character-defining facades.

As stated above, staff and the applicant do not believe the existing windows are original. The replacement windows as depicted on the plans were selected based on historic photos.

3.28 In a replacement window, use materials that appear similar to the original.

- Using the same material as the original is preferred, especially on character-defining facades. However, a substitute material may be considered if the appearance of the window components will match those of the original in dimension, profile and finish.
- New glazing should convey the visual appearance of historic glazing. It should be clear. Transparent low-e type glass is appropriate. Metallic and reflective finishes are inappropriate.
- Vinyl and unfinished metals are inappropriate window materials.

All windows proposed for replacement will be wood clad and have been selected based on historic photographs. However, two of the windows on the Yukon façade may require frosting or some other similar treatment due to the location of restrooms. These windows are on the addition; all windows on the original structure will be transparent.

3.29 Match, as closely as possible, the profile of the sash and its components to that of the original window.

- A historic wood window usually has a complex profile. Within the window's casing, the sash steps back to the plane of the glazing (glass) in several increments. These are important details that help distinguish the actual window from the surrounding plane of the wall.

As previously stated, historic photographs were used to select windows that most closely matched the original windows. The window profiles on plan sheet A3.2 depict compliance with this requirement.

3.30 Convey as closely as possible the character of historic sash divisions in a new window.

- Muntins that divide a window into smaller panes of glass should be genuine on key facades and other highly visible places.
- Snap-on muntins located on the outside of a window may be used in secondary locations, but should have a similar depth and shadow line.
- Strips of material located between panes of glass to simulate muntins are inappropriate.

As stated above, historic photographs were used to select windows that most closely matched the original windows. Staff believes the proposed sash divisions match the historic photographs. The selected windows are divided-light windows.

3.31 Enhance the energy efficiency of an existing historic window, rather than replace it. Use these measures:

- Add weather stripping and caulking around the window frame.
- Install a storm window.
- Install an insulated window shade.

As previously stated, staff and the applicant do not believe the existing windows are historic windows. All new windows will be energy efficient and comply with all applicable energy code requirements.

3.32 Preserve the decorative and functional features of a primary entrance.

- These include the door, door frame, screen door, threshold, glass panes, paneling, hardware, detailing, transoms and flanking sidelights.
- Avoid changing the position of an original front door.

As stated above, the original entrance on the west façade of the bell tower is being restored. Unfortunately, the historic photographs don't provide much detail regarding the design of the door other than it was a double door. The applicant is proposing to use aluminum clad wood doors that mimic the appearance of the doors shown on the addition in the historic photographs. The applicant is proposing to use the same doors on the primary entrance on the building addition.

3.33 Maintain the original proportions of a historically significant door.

- Altering the original size and shape of a historic door is inappropriate.

The original entrance will be restored to its original proportions and the existing entrance on the educational wing addition will also be restored to a double-door entrance as depicted on historic photographs. In addition, the doors on the east façade of the educational wing addition will be restored to what appears to be the original door opening using a aluminum clad doors with sidelights.

3.34 When a historic door is damaged, repair it and maintain its general historic appearance.

N/A, it does not appear that any of the existing doors are historic.

3.35 When replacing a door, use materials that appear similar to that of the original.

As stated above, unfortunately, the historic photographs don't provide much detail regarding the design of the doors on the original building other than it was a double door. The original doors were likely wood; however, the applicant is proposing to use aluminum clad wood doors that mimic the appearance of the doors shown on the addition in the historic photographs. The applicant is proposing to use the same doors on the primary entrance on the education wing addition. The applicant is also proposing to replace an existing metal door on the north façade with a similar insulated metal door and replace two doors on the east façade and one door on the south façade with new aluminum clad doors with sidelights.

The use of aluminum clad doors requires a waiver to this guideline. Staff supports this waiver based on criteria 1 and 2 of section 8-3-5-4 of the Land Development Code.

3.36 When replacing a door, use a design that has an appearance similar to the original door, or a door associated with the building style or type.

As previously stated, unfortunately, the historic photographs only clearly depict the design of the primary entrance to the education wing addition. For the two primary entrances facing Yukon, the applicant is proposing to use aluminum clad wood doors that mimic the appearance of the doors shown on the photograph. The applicant is also proposing to replace an existing metal door on the north façade with a similar insulated metal door and replace two doors on the east façade and one door on the south façade with new aluminum clad doors with sidelights.

The use of aluminum clad doors requires a waiver to this guideline. Staff supports this waiver based on criteria 1 and 2 of section 8-3-5-4 of the Land Development Code.

3.37 Preserve the original roof form of a historic structure.

- Avoid altering the angle of a historic roof. Instead, maintain the perceived line and orientation of the roof as seen from the street.

Not applicable, there are no proposed alterations to the roof.

3.38 Preserve the original eave depth of a roof.

- The shadows created by traditional overhangs contribute to one's perception of the building's historic scale and therefore, these overhangs should be preserved. Cutting back roof rafters and soffits or in other ways altering the traditional roof overhang is inappropriate.

Not applicable, there are no proposed alterations to the eaves.

3.39 Preserve original roof materials.

- Avoid removing historic roofing material that is in good condition.
- Also preserve decorative elements, including crests and chimneys.

- Retain and repair roof detailing, including gutters and downspouts.

Not applicable, there are no proposed alterations to the roof materials unless necessary to ensure the roof is water tight.

3.40 New roof materials should convey a scale and texture similar to those used traditionally.

- When choosing a roof replacement material, the architectural style of the structure should be considered.
- Composition shingle roofs are generally appropriate replacements for wood shingles. They should have a color similar to the original, or of the material in weathered condition.
- Shingles that contain embedded photovoltaic systems are also appropriate in dark colors.
- Specialty materials such as tiles should be replaced with a matching material.

Not applicable, there are no proposed alterations to the roof materials unless necessary to ensure the roof is water tight.

3.41 If metal roof materials are to be used, they should be applied and detailed in a manner compatible with the historic character.

- Metal roof materials should have a matte, non-reflective finish.
- Seams should be of a low profile.
- The edges of the roofing material should be finished similar to those seen historically.

Not applicable, there are no proposed alterations to the roof materials unless necessary to ensure the roof is water tight.

3.42 Avoid using conjectural features on a roof.

- Adding a widow's walk (an ornate railing around the roof ridge) on a house where there is no evidence one existed creates a false impression of the home's original appearance, and is inappropriate.

Not applicable, there are no proposed alterations to the roof.

3.43 Minimize the visual impacts of skylights and other rooftop devices.

- A skylight that is flush with the roof plane may be considered where it remains visually subordinate.
- Skylights should not interrupt the plane of the historic roof, and should be located below the ridgeline.
- Locate electronic data transmission and receiving devices to minimize impacts to the extent feasible.
- See pages 89 and 90 (of Olde Town Design Guidelines) for guidance related to roof-mounted solar panels.

Not applicable, there are no proposed alterations to the roof.

3.44 Design a balcony to be in character with the building.

- Mount a balcony to accentuate character-defining features.
- The balcony should fit within the opening when feasible.
- Use colors that are compatible with the overall color scheme of the building. In most cases dark metal matte finishes are appropriate.

Not applicable, there are no proposed balconies.

3.45 A new balcony should be simple in design.

- Simple metal work is most appropriate on commercial buildings.
- Simple wood and metal designs are appropriate for residential buildings.
- Heavy timber and plastics are inappropriate.
- The balcony should appear mostly transparent.

Not applicable, there are no proposed balconies.

3.46 A railing should be simple in design.

- Simple metal work and wood are appropriate.
- The railing should be mostly transparent.

All proposed railings utilize a simple design and are mostly transparent.

3.47 Where building codes stipulate that a taller railing is required, consider the following:

- Provide a second railing above the historic one to achieve a greater overall height without changing the appearance of the original.
- Keep the new railing visually subordinate to the original.

No historic railings are being altered.

3.73 Seek uses that are compatible with the historic character of the building.

- The use should not adversely affect the historic integrity of the building.
- The use should not alter character-defining features of the structure.
- The use may help to interpret how the building was used historically.

The adaptive reuse of the building will not adversely affect the historic integrity of the exterior of the building. Many of the proposed building modifications improve the historic integrity of the exterior of the building.

3.74 A new use that requires minimal change to the existing structure is preferred.

- When a more significant change in use is necessary to keep the building in active service, those uses that require the least alteration to significant elements are preferred.
- It may be that in order to adapt a building to the proposed new use, such radical alteration to its significant elements would be required that the entire concept is inappropriate. In most cases, however, designs can be developed that respect the historic integrity of the building while also accommodating new functions.

The proposed use and associated building modifications involve minimal change to the exterior of the building. In fact, many of the proposed building modifications improve the historic integrity of the exterior of the building.

3.75 Preserve an older addition that has achieved historic significance in its own right.

- For example, a kitchen wing located on a residential building may have been added in its history. Such an addition is usually similar in character to the original building in terms of materials, finishes and design.

Not applicable, based on the findings of the 2013 historic property survey, which was completed more than 50 years after the addition, “The wing addition on the south has compromised the integrity of design.”

3.76 Generally, creating an accessibility solution that does not alter its historic characteristics is encouraged.

- Identify the historic building’s character-defining spaces, features and finishes so that accessibility code-required work will not result in their damage or loss.
- Alterations to historic properties that are designed to improve access for persons with disabilities should minimize negative effects on the historic character or materials.
- Provide barrier-free access that promotes independence for the disabled to the highest degree practicable, while preserving significant historic features.

The proposed change of use the building will need to be brought into compliance with all code-required accessibility requirements. The building will integrate an internal elevator or lift system so that people using the at-grade entrance on Yukon will be able to access both the main level and garden level. The lift or elevator will not alter the exterior of the building.

3.77 Minimize the visual impacts of solar panels on the character of the property.

- Locate panels in visually subordinate positions.
- Where possible on secondary facades, set panels back from the front facade.
- Use the least invasive methods feasible to attach solar collectors to a historic roof. Design them to be reversible as well.
- Installing integrated photovoltaic systems should be planned where they will not hinder the ability to interpret the historic significance of the structure. For example, solar shingles on a rear or secondary facade would be appropriate.
- Mount flat against the roof when feasible. Also, they should not interrupt the plan of a historic roof, and should be located below the ridgeline.
- Another option is to install solar panels on secondary structures.
- When mounted on the ground, collectors should be located in rear or side yards. Exposed hardware, frames and piping should have a matte finish, and be consistent with the color scheme of the primary structure.

Not applicable, no solar panels are proposed at this time.

3.78 Retain and enhance the energy efficiency of the original building.

- Install additional insulation in an attic, basement or crawlspace. Additional insulation is a simple and typically noninvasive, method to make a significant difference in a building's energy efficiency.
- Retain, repair or restore original shutters, awnings and porches as appropriate. Operable features such as these will increase the range of conditions in which a building is comfortable without mechanical climate controls.
- Retain and repair original roof material.
- Install draft stoppers in a chimney. Open chimney dampeners can increase energy costs by up to 30 percent.

All windows and doors are being replaced with energy efficient systems that comply with current energy code requirements. In addition, the applicant is proposing to update the roof insulation system. There are no proposed changes to the roof material other than routine maintenance to ensure it is water tight.

3.79 Enhance the energy efficiency of original windows and doors.

- Retain the original window frame and glazing.
- Repair original windows and doors rather than replace.
- Safeguard, retain and reuse early glass, taking special care in putty replacement.
- Maintain the glazing compound regularly. Remove old putty with care.
- Weather strip and caulk original framework.
- Place storm windows internally to avoid the impact upon external appearance.
- Use storm window inserts designed to match the original frame if placed externally.
- Double pane glazing may be acceptable where original glazing has been lost and the frame can support the weight and profile. A storm window is still more efficient however.

Not applicable, as previously stated, staff and the applicant do not think the window frames and glazing are original.

3.80 Design landscapes and site features to promote energy efficiency.

- Retain existing mature landscape features that provide shade and protection from wind.
- Position new landscape features to take advantage of the shade and wind break effects for the building.
- Locate deciduous trees and vegetation to provide for summer shading and allow winter solar access.
- Use efficient site lighting to minimize the amount of fixtures needed.

All existing mature trees on-site will be preserved. The plan includes seasonal solar shades in the outdoor dining area to provide shade for guests. At this time, the only proposed site lighting are single fixtures above the building entrances.

Section IV. Design Guidelines For All Projects

4.1 Minimize the impacts to primary views from existing private structures and public ways when feasible.

- Enhance primary public view corridors. Locate improvements to minimize impacts to primary views from Grandview Avenue across the valley, through McIlvoy Park, and from Webster to the anticipated Transit Station.
- Consider keeping a new structure low or using a compact footprint to maintain views.

Not applicable, views will not be altered.

4.2 Provide convenient vehicular, pedestrian and bikeway connections among abutting properties.

- Create an internal circulation system that will link those of adjacent properties, when feasible.

Not applicable, internal circulation system is not being altered.

4.3 Retain the historic network of streets and alleys.

- The network of streets and alleys should be retained as public circulation space and for maximum public access.
- Streets and alleys should not be enclosed or closed to public access.
- Link to existing public rights-of-way, when feasible.

Not applicable, historic network of streets and alleys is not being altered.

4.4 Outdoor amenity space should meet all of the following requirements:

- Be open to the sky
- Be paved or otherwise landscaped
- Remain subordinate to the line of building fronts

The proposed outdoor amenity space is in the rear of the building between the building and the alley. It will be open to the sky with the exception of seasonal solar shades and it includes at-grade paved areas and an elevated deck for dining along with landscape beds. The location of the amenity space in the rear of the building ensures that it remains subordinate to the line of building fronts.

4.5 A small public plaza or pocket park should contain features to promote and enhance its use.

These must be:

- Directly accessible to the public sidewalk
- Level with the sidewalk

They may have one or all of the following:

- Street furniture
- Public art
- Historical/interpretive marker

Not applicable, a small public plaza or pocket park is not proposed.

4.6 Locate a raised dining area (deck) to minimize visual impacts on the streetscape.

- Placing it to the side or rear of a property is preferred.
- Rooftop decks are also accepted; however, they should be set back from the building facade.
- Projecting/cantilevered decks are inappropriate in most settings. However, they may be allowed on the rear of the building if they do not negatively impact neighboring historic resources.
- Dining support service areas, such as waitress stations and dish areas, should be located away from the public's view.

There is a 20-foot by 20-foot raised uncovered deck in the rear of the building. It is located away from W 57th Avenue and partially obscured by the original building thereby minimizing the visual impacts to the streetscape.

4.7 Locate an at-grade dining area to minimize impacts on the streetscape.

- Consider locating an at-grade dining area to the side or rear of a property.
- It may be appropriate to locate an at-grade dining area in the public ROW in a street wall context, subject to any necessary permits or encroachment agreements which may be required. The dining area should be defined in this setting. It should allow for unobstructed circulation along the sidewalk.
- It is also appropriate to locate an at-grade dining area in the front yard in a residential setting. However, plantings (i.e. mature trees, shrubs) should remain a dominant feature.

The applicant is proposing at-grade dining off the rear of the building between the building in the alley in an area that was previously used for surface parking. This location along with proposed landscape improvements minimize the impacts on the streetscape.

4.8 The use of public art is encouraged.

- Incorporate art that complements the context and character into streetscapes or building elements.
- Strategically place public art at civic facilities to serve as accents.

Not applicable, no public art is proposed at this time.

4.9 Public art should be compatible with the historic context.

- Art installation should not impede one's ability to interpret the historic character of Olde Town.
- Locate public art such that the ability to perceive the character of historic buildings nearby is maintained. Placing a large sculpture in front of a historic building front, for example, is inappropriate.

Not applicable, no public art is proposed at this time.

4.10 Locate public art installations to enhance the urban environment.

- Locate artwork in strategic locations such as gateways or as focal points in public plazas or parks.
- Incorporate public art within the urban environment. An artist could “customize” or reinterpret conventional features of a streetscape. For example, an artist might design a gate feature, tree grate or planter.

Not applicable, no public art is proposed at this time.

4.11 Minimize the visual impact of surface parking.

- Locate a parking area at the rear or to the side of a site or to the interior of the block whenever possible. This is especially important on corner properties. Corner properties are generally more visible than interior lots, serve as landmarks and provide a sense of enclosure to an intersection.
- Do not use the front yard of a property for parking.

Not applicable, existing surface parking area off the alley is being eliminated for an outdoor dining area.

4.12 Site a surface lot so it will minimize gaps in the continuous building wall of a commercial block.

- Where a parking lot shares a site with a building, place the parking at the rear of the site, or if this is not feasible, beside the building.

Not applicable, existing surface parking area off the alley is being eliminated for an outdoor dining area.

4.13 Provide a visual buffer where a parking lot abuts a public sidewalk.

- This may be a landscaped strip or planter. A combination of trees and shrubs can be used to create a landscape buffer.
- Consider the use of a low or decorative wall as screen for the edge of the lot. Materials should be compatible with those of nearby buildings.

Not applicable, existing surface parking area off the alley is being eliminated for an outdoor dining area.

4.14 Provide a visual buffer along the edge of a parking lot or service area.

- Provide a landscape buffer or screen wall at the edge of a parking lot and between parking lots.
- Provide an evergreen landscape buffer or screen wall by ground mounted mechanical equipment, service and/or storage areas.

Not applicable, existing surface parking area off the alley is being eliminated for an outdoor dining area.

4.15 Shield lighting to prevent off-site glare.

- Light fixtures should incorporate cut-off shields to direct light downward.
- Luminaires (lamps) shall not be visible from adjacent streets or properties.

- Shield fixtures to minimize light spill onto adjacent properties and into the night sky.

Not applicable, there is no site lighting proposed at this time. Any future site lighting will need to comply with this and applicable Land Development Code lighting regulations.

4.16 Provide lighting for a pedestrian way that is appropriately scaled to walking.

- Mount lights for pedestrian ways on short poles or consider using light posts (bollards).

Not applicable, there is no site lighting proposed at this time. Any future site lighting will need to comply with this and applicable Land Development Code lighting regulations.

4.17 Light fixtures should be in character with the setting.

- Fixtures should be compatible with architectural and site design elements.

Not applicable, there is no site lighting proposed at this time. Any future site lighting will need to comply with this and applicable Land Development Code lighting regulations.

4.18 Use lighting to accent:

- Building entrances
- Signs

The plans include new lighting over doors intended to be used as entrances. There are no signs proposed at this time.

4.19 Minimize the visual impacts of architectural lighting.

- Use exterior light sources with a low level of luminescence.
- Use white lights that cast a similar color to daylight.
- Do not wash an entire building facade in light.
- Use lighting fixtures that are appropriate to the building and its surroundings in terms of style, scale and intensity of illumination.

The exterior light fixture (see plan sheet A3.1) is fully shielded and is intended to illuminate only the entrances to the building. In addition, it will need to comply with all applicable lighting regulations in the Land Development Code. The light fixture was selected to complement the historic character of the building.

4.20 Use shielded and focused light sources to prevent glare.

- Provide shielded and focused light sources that direct light downward.
- Do not use high intensity light sources or cast light directly upward.
- Shield lighting associated with service areas, parking lots and parking structures.
- Avoid excessive light spill from buildings.

The exterior light fixtures are fully shielded and intended to illuminate only the entrances to the building. In addition, fixtures will need to comply with all applicable lighting regulations

in the Land Development Code which include limits on light spill onto adjacent properties and the public right-of-way.

4.21 Minimize the visual impacts of service areas.

- Orient the entrance toward service lanes and away from major streets.
- Screen a service area with a wall, fence or planting, in a manner that is in character with the building and site.

Service area is located off the alley. The visual impacts of the dumpster enclosure are mitigated by its location off the alley on the south side of the property. In addition, the applicant is proposing a masonry enclosure that will be consistent with the color of the building.

4.22 Position a service area to minimize conflicts with other abutting uses.

- Minimize noise impacts by locating sources of offensive sounds away from other uses.
- Use an alley when feasible.

The service area is located in the alley which should minimize conflicts with abutting properties.

4.23 Minimize the visual impacts of building equipment on the public way and the surrounding neighborhood.

- Screen equipment from view.
- Do not locate equipment on a primary facade.
- Use low-profile or recessed mechanical units on rooftops.
- Locate satellite dishes and mechanical equipment out of public view.

The final specifications of building equipment have not been finalized. The applicant is committed to complying with this guideline. If this guideline cannot be complied with at time of Site Plan, another DRC meeting may be necessary.

4.24 Minimize the visual impacts of utility lines, junction boxes and similar equipment.

- Locate utility lines and junction boxes on secondary and tertiary walls, and group them, when feasible.
- Group lines in conduit, when feasible.
- Paint these elements, to match the existing background color, when feasible.
- Locate utility pedestals (ground mounted) to the rear of the building.

No new utility lines, junction boxes, or similar equipment are anticipated at this time. If needed, the applicant is committed to complying with this guideline. If this guideline cannot be complied with at time of Site Plan, another DRC meeting may be necessary.

4.25 A fabric awning is encouraged.

- Historically, fabric awnings were most commonly found in Olde Town. On occasion they were found on residential buildings.

- Operable awnings are encouraged, but rigid frame types may also be considered.
- Using an operable awning is encouraged because it can be an energy efficient mechanism for managing interior light and air conditions.

Not applicable, no awnings or canopies proposed at this time.

4.26 A fixed metal canopy may be considered.

- Appropriate supporting mechanisms are wall mounted brackets and chains consistent with the style of the building.

Not applicable, no awnings or canopies proposed at this time.

4.27 An awning or canopy should be in character with the building and streetscape.

- Mount an awning or canopy to accentuate character-defining features. In most cases, the awning or canopy should fit in the opening of the building.
- Use colors that are compatible with the overall color scheme of the facade. Solid colors are encouraged.
- Simple shed shapes are appropriate for rectangular openings. Odd shapes, bullnose awnings and bubble awnings are inappropriate.
- Internal illumination of an awning is inappropriate.
- Awnings should remain a subordinate feature on the facade, where they are used.
- Generally, post supported canopies are inappropriate on Olde Town commercial buildings.

Not applicable, no awnings or canopies proposed at this time.

4.28 The facade should “read” as a single composition.

- Employ color schemes that are simple in character.
- Using one base color for the building walls and another for the roof is preferred.
- Using one to three accent colors for trim elements is also preferred.

The existing color scheme will be maintained to ensure that the façade “reads” as a single composition.

4.29 Base or background colors should be muted.

- Building features should be muted, while trim accents can be either a contrasting color or a harmonizing color.
- An accent color should not contrast so strongly as to not read as part of the composition.
- Bright high-intensity colors are not permitted.
- Use matte or low luster finishes instead of glossy ones.
- Generally, non-reflective, muted finishes on all features is preferred.

The existing color scheme will be maintained and enhanced. The existing brick will be preserved and cleaned. The darker painted fascia trim will be

maintained, and will be enhanced with fresh paint. The new window and door colors will be selected to complement the existing trim color on the building. Non-reflective, muted finishes are proposed on all finished exterior materials.

4.30 Building elements should be finished in a manner similar to that seen traditionally. The following are recommended treatments:

- Brick and stone: unpainted, natural color
- Window frames and sash, doors and frame and storefronts: wood - painted; metal - anodized or baked color
- Wood siding: painted
- In most cases, highly reflective materials, weathered wood and clear finishes are inappropriate on large surfaces. A clear finish is appropriate on a wood entry door.

The existing brick will not be painted; it will be preserved and cleaned. The darker painted fascia trim will be maintained, and will be enhanced with fresh paint. The new window and door colors will be selected to complement the existing trim color on the building.

4.31 Provide landscaped front yards.

- Consider the context when designing a landscaped front yard. A combination of hardscape and plantings may be appropriate.
- Driveways located in the front yards are generally inappropriate.

The existing landscape areas in front of the building will be refreshed and the wood timbers surrounding the landscape beds will be removed and replaced with cut granite edging. There is no driveway in the front yard.

4.32 Retain significant landscape features.

- Avoid removing mature character-defining trees unless they are severely damaged, aged or diseased.

No mature trees are proposed for removal.

4.33 Use landscape designs that are appropriate to the character and climate of the district.

- Consider plant materials used traditionally, such as native and established species.
- Select plant and tree species according to their mature size to allow for the long-term impact of mature growth.
- Do not cover a front yard with gravel or rock.
- Use plant species that require low levels of water.

The proposed landscaping will need to comply with this guideline. This will be verified during the Site Plan application.

4.34 Provide landscaped open space on major site developments.

- Position landscaped open space so it can be shared by adjoining buildings.
- Also, position outdoor open space on the site so it may visually or physically connect with open space on adjoining properties.

Not applicable, this is not major site development or redevelopment.

4.35 Leave archeological resources in place, when feasible.

- Avoid disturbing known archeological resources, if feasible.
- If archeological materials are discovered contact the appropriate authority.

There are no known archeological resources on-site and there will be minimum excavation associated with the proposed building modifications. If archaeological materials are discovered during construction, the appropriate authority will be contacted.

4.36 The use of a coordinated set of streetscape and planting improvements is encouraged.

- Consider the design context when determining sidewalk improvements.
- Consider the area's development density context when determining sidewalk widths.

No significant sidewalk improvements other than replacing existing damaged sidewalk sections are anticipated with this project.

4.37 Use plantings that are appropriate to the region and the streetscape environment.

- Avoid species that require significant maintenance and care.
- Streetscape landscaping should consist primarily of shade trees.

The applicant is proposing to refresh the existing landscaping and add some additional landscape adjacent to the sidewalk. Staff will verify that they are appropriate species with the Site Plan application. All existing mature shade trees are proposed to be preserved.

4.38 Streetscape furnishings should enhance the function of the pedestrian way along the street.

- Locate furnishings near heavily used pedestrian areas, such as major pedestrian routes, building entrances and outdoor gathering places.
- Locate furnishings so they do not impede primary pedestrian way.
- Street lighting should be pedestrian-scaled.

Not applicable, at this time no furnishings are proposed.

4.39 An "urban palette" of streetscape elements should be used in commercial settings.

- This palette includes: Street trees with grates, located in the sidewalks. Benches and planters of finished, highly durable materials. Decorative paving, such as scored concrete or unit pavers to define special areas.

Not applicable, as previously stated, no significant sidewalk or streetscape improvements are associated with this project.

4.40 A "neighborhood palette" of streetscape elements should be used in a residential context.

- This palette includes: Street trees, in tree lawns or planting strips, located along the outside sidewalk edge. Concrete sidewalks, to establish a sense of continuity in the area, with decorative paving used only as accents

Not applicable, this is not a residential context and the existing landscaping is being preserved with relatively minor improvements.

4.41 The use of site furnishings is encouraged.

- Incorporate site furnishings to complement the context and character of the building, site and/or streetscape.
- All materials should be durable, and have high quality finishes.

Site furnishings have not been selected at this time, but they will complement the context and character of the building, site and/or streetscape and they will be durable and have high quality finishes. If it is determined at Site Plan that this is not the case, an additional DRC meeting may be necessary.

VI. Olde Town Arvada Character Area - East Yukon Area

6.16 Limit the number of curb cuts from the street.

- Provide auto access from the alley, where feasible.

There are no existing curb cuts to the property and no new curb cuts are proposed.

6.17 Minimize the visual impacts of a surface parking lot as seen from the street; provide one of the following:

- Locate at grade, and screen with other uses.
- Locate at grade, and screen with architectural elements or landscaping.
- Locate underground.

The existing parking off the alley is being eliminated and converted to an outdoor dining area that will include new paving and landscaping.

6.18 Building setbacks should correspond to the specific building type.

- The street level of a mixed-use building type should be located at the sidewalk edge.
- A multifamily building type may provide a shallow front yard setback to allow for a landscaped area.

There will be no change to building setbacks as it relates to the Yukon Street and W 57th Ave. street frontages.

6.19 Provide and enhance pedestrian connections.

- Provide wider sidewalks along Ralston Road and the east side of Yukon while maintaining a building wall at the new sidewalk edge.
- Provide pedestrian-friendly sidewalks.
- Provide a public walkway through the project sites to enhance connectivity to key destinations (i.e. Olde Wadsworth).

- Encourage connections to align with or connect to the existing street grid.

At this time, there are no sidewalk improvements proposed with this project. This is an existing corner lot with sufficient pedestrian connections.

6.20 Provide a “pedestrian-friendly” street level.

- Use the following features at the street level:
 - Architectural detailing
 - Primary entrance facing the street
 - Storefront on a mixed-use building type
 - Porch entry/stoop with landscaping for individual units on a multifamily building type
- Additional features that may be included:
 - Recessed entry
 - Canopy
 - Plaza/Courtyard accent
- First floor entry porches and stoops should be raised to reflect the height of traditional residential porches in the area.

The added transparency provided by the new windows and doors along with the reconstruction of the original entrance stairs will result in a more pedestrian-friendly street level.

6.21 Minimize the impact of three-story buildings at the street and other “transition edges.”

- Step back additional floor height to maintain predominantly two stories at the street.
- Consider a third story element for a limited portion of the building footprint. It should remain subordinate to the building facade.
- Vary the building height and modules in large projects.
- Set back a third story from “protected” (historic resources & low-scale residential neighborhoods) edges.

Not applicable, this is an existing building with no changes to the number of stories.

6.22 A three story portion of a facade at the street edge should reflect the following design criteria:

- It is provided as an anchor to the corner.
- It is provided as a limited part of the facade to accent an entry.
- It is designed as a transparent screening device for the upper levels of a parking deck.
- It should remain subordinate to the building facade (generally, any three-story element should not exceed 55’ in width along the street).

Not applicable, there is not a third story on the existing building.

6.23 Establish a sense of human scale in a building design.

- Use architectural details that create visual interest and convey a three-dimensional facade. This may include some of the following features:

- Changes in color, texture and materials
- Variation in facade plane offsets
- Balconies, overhangs, canopies, porches for multifamily building types, etc.
- Stepped building forms/modules

This guideline is only partially applicable given that most of the proposed modifications on the street facing facades restore the historic condition of the building. However, reconstructing the original staircase on the west façade of the bell tower, restoring the window on the north façade, and the added transparency from the new windows and doors will create additional visual interest.

CERTIFICATE OF COMPLIANCE SUMMARY

Section 8-3-5-4 of the Land Development Code establishes that the Design Review Advisory Committee consider the applications and makes recommendations to the Community Development Director. Such action could include approval, approval with conditions, waiver or partial waiver from the requirements, or denial.

A waiver may be granted based upon a determination of any one of the following criteria:

1. The proposed land-use activity is of a nature that will not substantially alter, or erode the authenticity of, any historically significant exterior feature of an existing structure and is compatible with both the distinctive characteristics of the Arvada Downtown Historic District or Olde Town Zoning District, or the Reno Park Design Guidelines Project Area, as applicable, and with the intent and purpose of the applicable Design Guidelines;
2. The proposed land-use activity is of a nature that will not undermine, impair, or conflict with the intent of the applicable Zoning District, and is compatible with both the distinctive characteristics of the Arvada Downtown Historic District, Olde Town Zoning Districts, or Reno Park Design Guidelines Project Area, as applicable, and the intent and purpose of the applicable Design Guidelines;
3. Strict compliance with the Design Guidelines would create an economic hardship, such that the cost to strictly comply would result in an inability to obtain any reasonable economic return on the property; or
4. The proposed land-use activity is of comparable architectural and historical value and authenticity to that required by the applicable Design Guidelines and is consistent with the intent and purpose of the applicable Design Guidelines.

The guideline matrix below provides a summary of Staff's position as to where the application lies, with respect to individual guidelines, on a spectrum. Staff is of the opinion that the majority of the guidelines and criteria have been met, and that waivers for eleven guidelines would be required. The DRC is not bound by these suggestions and Staff's position may change depending on additional information provided. The matrix is intended as a tool to help fashion and organizing a motion.

5690 Yukon Street
DA2023-0077
Guidelines Matrix

The following represents Staff's position as to where the application lies, with respect to individual guidelines, on a spectrum. The guidelines are noted as being clearly met (●), as not being met, however a waiver is justified (●), or as not being met, and a waiver has not been justified (●). Where two selections are made, a determination as to whether or not the guideline has been met is necessary. The suggested motion which references waivers on the coversheet assumes waivers are necessary if not clearly indicated as being met (●) in the matrix.

The DRC is not bound by these suggestions and Staff's position may change depending on additional information provided. The matrix is intended as a tool to help fashion and organizing a motion.

No.	Guideline	Guideline Met	Guideline Not Met Waiver Justified	Guideline Not Met Waiver Not Justified
TREATMENT OF HISTORIC RESOURCES				
GENERAL HISTORIC DESIGN GUIDELINES				
3.1	Preserve significant features.	●		
3.2	Repair deteriorated features	●		
3.3	Disassembly of a historic element	●		
3.4	Maintain original finish	●		
3.5	Compatible interpretation	●		
3.6	Replacement accuracy	●		
3.7	Avoid non-original details	●		
3.8	Preserve original materials	●		
3.9	Repair deteriorated materials	●		
3.10	Match original material	●		
3.11	Replacement materials	●		
3.12	Covering materials	●		
3.13	Material removal	●		
3.14	Cleaning	●		
3.15	Wood	●		
3.16	Preserve metal features	●		
3.17	Metal repair	●		
3.18	Brick painting	●		
3.19	Mortar & joint repair	●		

3.20	Concrete features	●		
3.21	Repainting	●		
3.22	Historic color scheme	●		
3.23	Preserve window function	●		
3.24	Preserve window arrangement	●		
3.25	Preserve widow opening ratio	●		
3.26	Preserve window opening size	●		
3.27	Match replacement window design	●		
3.28	Match window materials	●		
3.29	Match window profile	●		
3.30	Match window divisions	●		
3.31	Window energy efficiency	●		
3.32	Preserve function of original entry	●		
3.33	Proportions of historic door	●		
3.34	Repair of historic door	●		
3.35	Replacement door material		●	
3.36	Replacement door design		●	
3.37	Preserve original roof form	●		
3.38	Preserve original eave depth	●		
3.39	Preserve original roof materials	●		
3.40	New roof scale and texture	●		
3.41	Metal roof materials	●		
3.42	Conjectural features	●		
3.43	Skylights and rooftop devices	●		
3.44	Design a balcony in character with the building	●		
3.45	New balcony design	●		
3.46	Railing design	●		
3.47	Taller railings	●		
SPECIAL CONSIDERATIONS				
3.73	Compatible uses	●		
3.74	Minimal changes	●		
3.75	Preserve a historic addition	●		
3.76	Accessibility	●		
3.77	Minimize solar panel impacts	●		
3.78	Retain energy efficiency	●		
3.79	Enhance energy efficient windows & doors	●		
3.80	Energy efficient site design	●		
GUIDELINES FOR ALL PROJECTS				
VIEWS				

4.1	Primary views	●		
CONNECTIVITY				
4.2	Connectivity	●		
4.3	Historic street network	●		
OUTDOOR AMENITY SPACE				
4.4	Outdoor amenity space	●		
4.5	Small outdoor plaza	●		
4.6	Raised dining area	●		
4.7	At-grade dining area	●		
PUBLIC ART				
4.8	Use of public art	●		
4.9	Compatible public art	●		
4.10	Public art location	●		
SURFACE PARKING				
4.11	Surface parking	●		
4.12	Surface parking placement	●		
4.13	Surface parking buffers	●		
BUFFERS				
4.14	Service area buffer	●		
SITE LIGHTING				
4.15	Off-site glare	●		
4.16	Pedestrian lighting	●		
4.17	Light fixtures	●		
BUILDING LIGHTING				
4.18	Building accent lighting	●		
4.19	Minimize lighting impact	●		
4.20	Shield light source	●		
SERVICE AREAS				
4.21	Service areas – location	●		
4.22	Service area – conflicts	●		
BUILDING EQUIPMENT				
4.23	Building equipment visibility	●		
4.24	Utility equipment visibility	●		
AWNINGS AND CANOPIES				
4.25	Fabric awnings	●		
4.26	Metal canopy	●		
4.27	Awning/canopy design elements	●		
COLOR				
4.28	Façade composition	●		
4.29	Muted base colors	●		
4.30	Building finishes	●		
LANDSCAPE				

4.31	Landscaped front yards	●		
4.32	Significant landscape features	●		
4.33	Plant species and materials	●		
4.34	Landscaped open space	●		
ARCHEOLOGY				
4.35	Archeological resources	●		
STREETSCAPE				
4.36	Streetscape improvements	●		
4.37	Streetscape plantings	●		
4.38	Streetscape furnishings	●		
4.39	Commercial urban palette	●		
4.40	Neighborhood palette	●		
SITE FURNISHINGS				
4.41	Furnishing materials	●		
OLDE TOWN ARVADA CHARACTER AREAS				
EAST YUKON AREA (OT-EY SUBDISTRICT)				
6.16	Limit curb cuts	●		
6.17	Surface parking	●		
6.18	Building setbacks	●		
6.19	Enhance pedestrian connections	●		
6.20	Pedestrian-friendly street level	●		
6.21	Three-story buildings	●		
6.22	Three-story façade	●		
6.23	Building design	●		



RENOVATION of ARVADA PRESBYTERIAN CHURCH

**5690 Yukon Street
Arvada, Colorado 80002**

COMPLIANCE ANALYSIS

September 29, 2023

The Arvada Presbyterian Church is considered a “Contributing Property”, and is a part of the Arvada Downtown Historic District as well as the Olde Town East Yukon District (OT-EY).

The Developer intends to preserve the historic character and integrity of the building. Historic Photographs have been studied, and the following items will be incorporated in this Renovation project:

- 1) The original Staircase and Entry on the Northwest corner will be added back in.
- 2) The diagonal wood wainscot at the base of the building will be removed, and the original masonry base and brick belt course will be restored.
- 3) Window and Door Openings will be re-glazed per the historic photographs. The new window / door systems specified will conform to the historic character of the original building & City of Arvada Design Guidelines for historic structures.
- 4) Basement windows will be re-established per Historic Photographs and records.
- 5) The existing openings on the building will remain and will be re-glazed. No new openings are proposed at this time.

I. Design Guidelines for All Projects (Section IV.)

- A. Views (4.1):** Public View Corridors will not be impacted and in fact will be enhanced by the quality restoration of this historic building in Olde Town Arvada. This project will also serve to enhance and activate the corner of Yukon & 57th, as well as the public Alley way.
- B. Connectivity (4.2 & 4.3):** This renovation project will enhance connectivity by improving the pedestrian sidewalks along Yukon and 57th. Furthermore, connectivity will be improved by constructing the new separate walkway along the Alley, East of the Outdoor Patio. The historic network of streets and alleys will be retained.
- C. Outdoor Amenity Space (4.4):** Outdoor Amenity Space is integrated into the design of the project by providing a new outdoor Restaurant Patio, along the East side of the building adjacent to the Alley. This Patio will be primarily open air, and feature outdoor seating.

Terraces, Patios and Deck space (4.6 & 4.7): The Outdoor Patio will feature at-grade Dining on the rear (East) side. Restaurant may consider outdoor dining at-grade along Yukon at a future date, however it is not a part of this submittal.

- D. Public Art (4.8, 4.9, 4.10):** No Public Art is planned at this time. A Waiver request will be submitted for this item. This is due to the extensive initial costs associated with the building renovation.
- E. Surface Parking (4.11 – 4.13):** There is no surface parking provided with this project. There is a public parking lot directly across 57th Street to the North.
- F. Buffers (4.14):** A CMU wall in the Southeast corner of the site will screen proposed electric transformer and possible HVAC condensing units. A new fence on the East side along the alley, will buffer the outdoor dining terrace from the Alley. This wood fence will compliment the existing and natural character of the site, by being stained to match the trim color of the existing building.
- G. Site Lighting (4.15 – 4.17):** The Site Lighting will conform to all of the City of Arvada requirements for Pedestrian, Street, and Walkway / Plaza applications. Off-site glare will be prevented, and fixtures will be compatible with the historical character of the building. Please refer to the proposed Building Elevations for specific locations and the light fixture cut sheets provided. The existing pedestrian / street lighting will be maintained.
- H. Building Lighting (4.18 – 4.20):** All building lighting will be selected to match the historic character of the building. In addition, these exterior fixtures will be located based on historic photographs as evidenced in historic photos of the building. Please refer to the proposed Building Elevations and light fixture cut sheets. Lighting will accent building entrances and signage. The proposed light fixtures have been selected to minimize glare, and direct light downward.
- I. Service Areas (4.21 – 4.22):** Service areas will be visually screened or contained to minimize visual and noise impact. Refer to the Site Plan for specific details for the trash enclosure and transformer screening. These areas have been located in the Southeast corner of the site off the Alley, to minimize impacts on abutting properties, and will be constructed with CMU, painted to match the base of the existing building.
- J. Building Equipment (4.23 – 4.24):** Any new Building Equipment will be appropriately screened to meet the City of Arvada requirements. The final specifications and locations for required equipment, have not been finalized as of this date.

wood is not

- K. Awnings and Canopies (4.25 – 4.27):** No new Entry Canopies are being proposed at this time. The Developer may consider seasonal Shade Sails in the East Patio area at a future date.
- L. Color (4.28 – 4.30):** The existing Historic Building color scheme will be maintained and enhanced. The existing roof color & shingles will be maintained. The existing brick will be preserved and cleaned. The darker painted fascia trim will be maintained, and will be enhanced with fresh paint. The existing block base which has been covered by the diagonal wood siding, will be exposed, cleaned, and brought back to the original Historic character of the church building, as evidenced by historic photos. The new window and door colors will be selected to compliment the existing trim color on the building. Generally, non-reflective, muted finishes are proposed on all finished exterior materials.
- M. Landscape (4.31, 4.32, 4.33 & 4.34):** The proposed project will not cause the removal of mature trees on the site. Landscape features such as new street trees and shrubs will provide color and interest. The addition of the new rear Dining Patio will provide additional landscaping, colored umbrellas, and visual interest. The existing front yard landscaping will be enhanced per the Conceptual Landscape Plan. The existing maple tree on Yukon will be maintained. Please refer to the Conceptual landscape Plan for proposed new and existing plan materials.
- O. Streetscape (4.36 – 4.40):** Streetscape improvements in the form of planters, benches, lighting, and paving materials may be included at a future date to enhance the street frontages along Yukon and 57th Ave. A palette of street trees, benches, and planters of highly durable materials would be utilized. Decorative paving will define the Entry Courtyard. Sidewalk widths are being maintained along Yukon and 57th. The Conceptual Landscape plan includes proposes plant material that is appropriate to the region. Final Streetscape furnishings and improvements will be determined at the Site Development Plan phase.
- O. Site Furnishings (4.41):** Site Furnishings (planters and benches) will be finalized at the Site Development Plan phase.

II. Treatment of Historic Resources (Section III)

The Developer intends to preserve the historic character and integrity of the building. Historic Photographs have been studied, and the following items will be incorporated in this Renovation project:

The original Staircase and Entry on the Northwest corner will be added back in. Refer to proposed Building Plans and Elevations. This Entry Staircase will be constructed of CMU, and finished to match the base of the existing building.

The diagonal wood wainscot at the base of the building will be removed, and the original masonry base and brick belt course will be restored. Refer to proposed Building Plans and Elevations.

Window and Door Openings will be re-glazed per the historic photographs. The new window / door systems specified will conform to the historic character of the original building & City of Arvada Design Guidelines for historic structures. Refer to proposed Building Plans and Elevations.

Basement windows will be re-established per Historic Photographs and records. Refer to proposed Building Plans and Elevations

The existing openings on the building will remain and will be re-glazed. No new openings are proposed at this time. Refer to proposed Building Plans and Elevations.

Architectural Details: Sections 3.1 – 3.7

The existing Historic Building will be maintained and enhanced. All significant stylistic and architectural features will be maintained. The original entrance on the Northwest corner will be re-constructed based on historical photos.

Preventive maintenance measures such as rust removal, caulking and repainting will be employed. Any deteriorated features will be repaired. All significant features that are adjacent to the area being worked on will be protected.

Replacement of any Architectural Elements (New Entry Stair), Door, and Window systems will be designed and specified based on evidence obtained from Historical Photographs.

Materials and Finishes: Sections 3.8 – 3.22

All requirements of this section relating to preservation of existing materials will be conformed to on this project. The existing brick, mortar, and window / door treatments and paint will be maintained and restored as necessary. Refer to the proposed Building Plans and Elevations for more details.

Building Components: Sections 3.23 – 3.47

All requirements of this section relating to design treatments of windows, doors, roof forms and materials, and scale will be conformed to on this project.

Windows and Door Replacement will be with ‘Pella’ Reserve Traditional double hung and picture, Wood clad windows. Please refer the Window Specifications and Details provided on the Architectural Plans.

The following window & door historical criteria will be met:

- 1) **3.23** Important features to the character will be maintained.
- 2) **3.24** Number & arrangement of windows in building walls maintained.
- 3) **3.25** Historic ratio of window openings / solid wall on primary façade.
- 4) **3.26** Size and proportion of window & door openings maintained.
- 5) **3.27** Replacement windows match the original double-hung and picture Styles as evidenced by historic photos and field verification.
- 6) **3.28** Replacement windows & materials appear similar to original
- 7) **3.29** Profiles of sash & components match – see details provided.
- 8) **3.30** Historic sash divisions in new windows match historic data
Windows will be true divided light per Architectural Elevations.

In detail, any material replacement will match the original material on the building. Windows and Doors will be replaced with more energy efficient windows that meet the Historic Character of the building. Refer to the proposed Building Elevations and associated window & door specifications. Functional features of primary entrances will be preserved.

The original hipped roof form and roofing materials will be maintained, and only replaced as necessary to insure the roof is in good condition and water tight.

SPECIAL CONSIDERATIONS:

Adaptive Reuse

This project preserves an existing historic church building, and is an Adaptive Reuse project by creating the new use of a restaurant. The intention is to have no alterations to the primary facades along Yukon and 57th Street, as the proposed Plans and Elevations demonstrate. The historic character of the building is maintained and enhanced, and the new restaurant use will bring life back to the structure and surrounding neighborhood.

3.73 & 3.74 Proposed Use: The proposed restaurant use will not adversely affect the historic integrity of the building. The primary character and defining building elements are not altered.

3.75 Additions: No additions are planned for the existing structure

3.76 Accessibility: Based on the new Restaurant Use and per the provisions of the ADA, Accessibility is required and will be provided on this project. A new elevator or approvable lift system, will be installed so that accessibility to all floors is provided. This accessibility solution will not alter any of the historic characteristics of the structure.

ENERGY CONSIDERATIONS:

This Adaptive Re-use and Renovation project will incorporate and number of improvements to the existing Historic Building. The renovation will conform all current Colorado Energy Codes. Energy Efficiency will be provided by:

- 1) New Energy efficient window and door systems
- 2) New updated exterior wall and roof insulation systems
- 3) Introduction of more daylighting into interior spaces by re-establishing existing windows and door openings.
- 4) New energy efficient HVAC, Electrical, Plumbing, and Lighting systems will be integrated.

OLDE TOWN EAST YUKON (OT - EY Subdistrict)

BUILDING DESIGN GUIDELINES

6.20: The Project features a pedestrian friendly street level by re-establishing the historic entrance on the Northwest corner of the building. In addition, a new Dining Patio will be created on the East side of the structure creating more pedestrian activation. New pedestrian friendly site features will be incorporated with the addition of new Site Furnishings and Landscaping along Yukon and 57th Streets, to be finalized with the Site Development Plan.

6.21 & 6.22: The existing 2-Story Historic Structure will be restored. The original Bell Tower will be maintained, and the railings that were added at a later date will be removed. 3-Story elements are not applicable to this project.

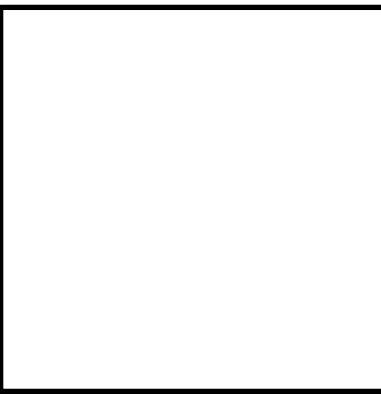
6.23: The existing 2-Story Historic building provides a strong sense of human scale. All of the existing Architectural Elements will be maintained and enhanced as described elsewhere in this document.

General Project Conformance and Characteristics

The proposed Adaptive Reuse and Renovation project will be a high-quality addition to this neighborhood. The project reinforces the Historical Character of the Olde Town District, and addresses the overall Design Guidelines for the downtown historic district as follows:

- a) **Promoting the mixed-use area** - The new Restaurant use and Outdoor Dining Patio creates new excitement and activity for this location. This serves to promote the Mixed-Use area. The building and outdoor improvements greatly contribute to the pedestrian activation and vibrancy of this area of Olde Town.
- b) **Outdoor Dining Patio along the Alley** reinforces the pedestrian experience and adds vibrancy to Yukon and 57th Streets.
- c) **Adds to the character of the Historic District** by the quality Architectural Restoration and Adaptive Re-use project, which will bring this historic church building back to life.
 - 1. Reinforces the goal of maintaining and restoring historic structures.
 - 2. Smaller scale details are provided (projecting stone sills, masonry belt courses, and cornice treatments).
 - 3. Relates to historic modules & details on older buildings in the area. Traditional facade design - Strong base, middle, and top.
 - 4. Meets all of the Olde Town Arvada & East Yukon Design Guidelines.
 - 5. The project team will continue collaboration with City Staff during the Site Development Phase, to insure the best design solutions possible, this type of project.
 - 6. Will add to the vitality of the area by providing some exciting new dining opportunities and experiences.

revision		
no.	date	by



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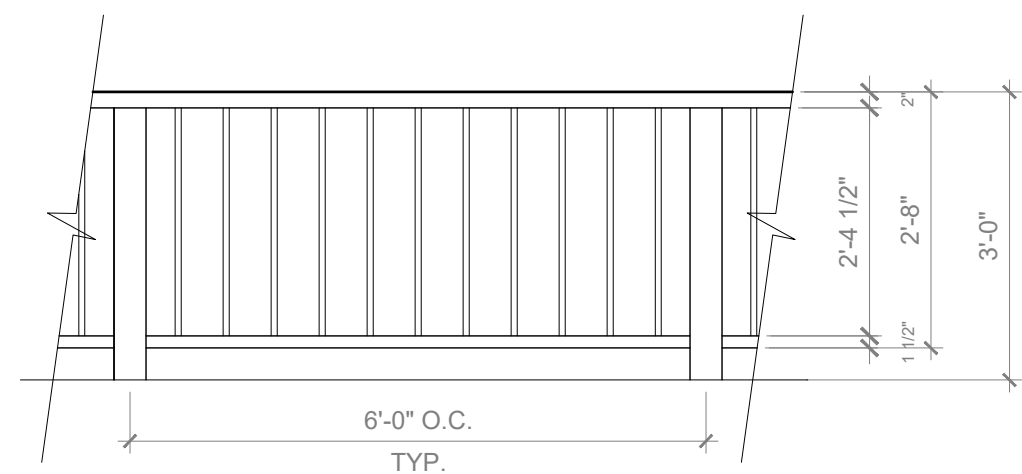
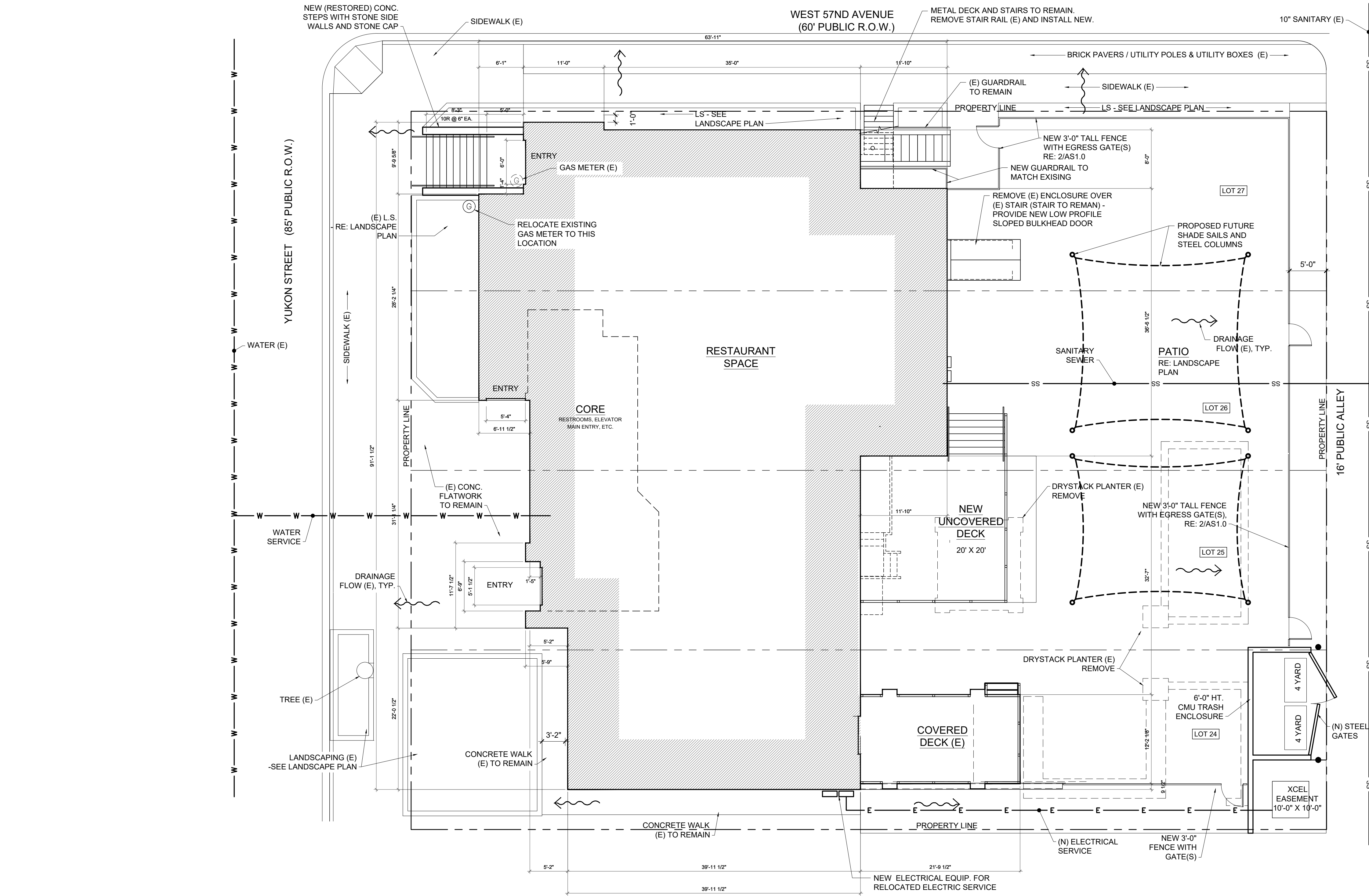
DESIGN DEVELOPMENT PACKAGE - NOT FOR CONSTRUCTION

5690 YUKON STREET

Arvada, Colorado 80002

sheet	SITE PLAN
date	9/29/2023
drawn	FG
checked	JM
sheet	AS 1.0

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SITE PLAN NOTES:

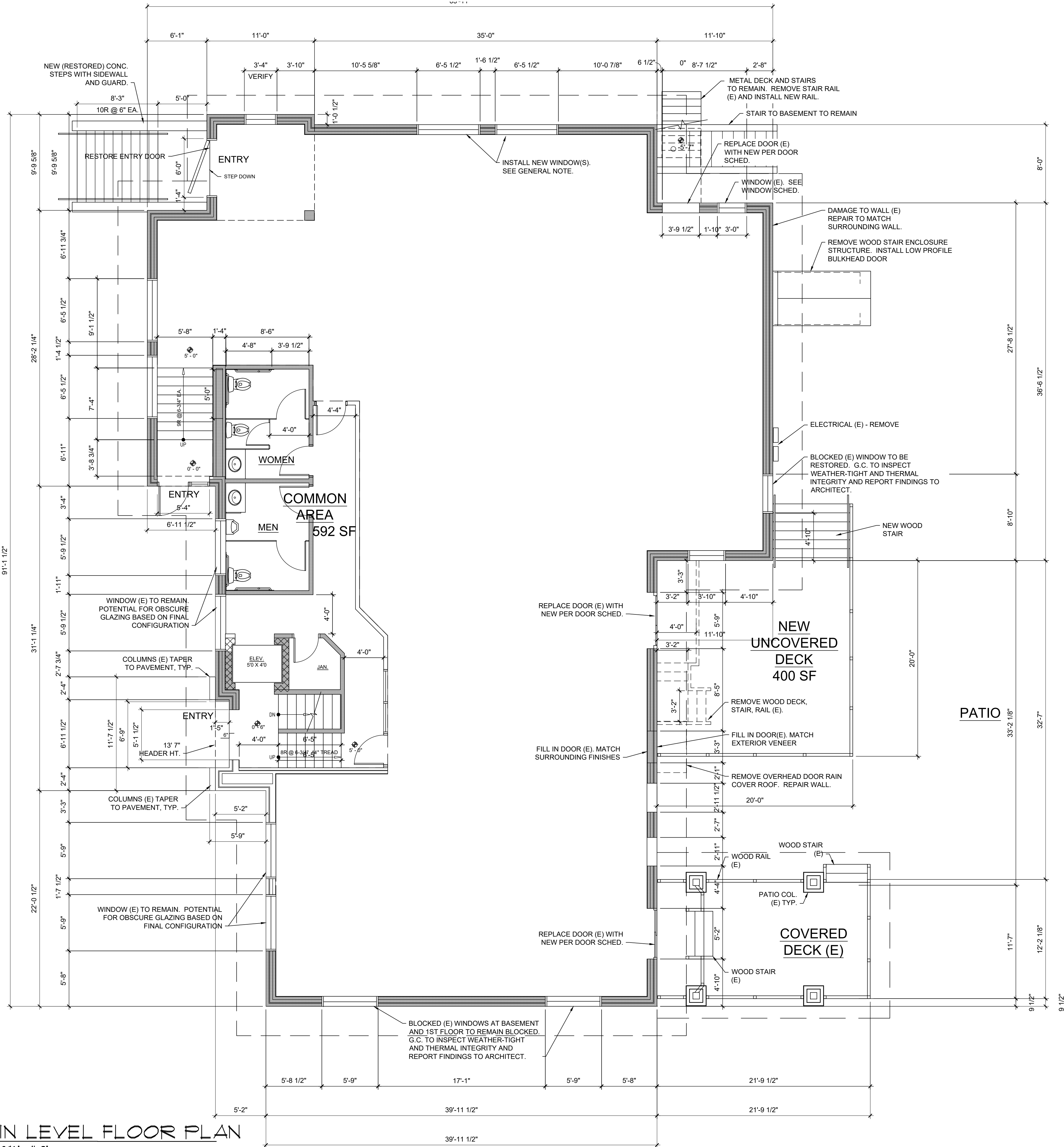
- SITE DRAINAGE NOTE:** PROPOSED DRAINAGE PATTERNS TO REMAIN THE SAME AS EXISTING PATTERNS. SEE DRAINAGE ARROWS (~~~~~>).
- UTILITY NOTE:** SEE PLAN FOR PRELIMINARY UTILITY LOCATIONS AND INFORMATION.
- SEE LANDSCAPE PLAN, SHEET LS-1 FOR ADDITIONAL INFORMATION.

1 SITE PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES- ELEVATIONS:

1. NEW WINDOWS MATCHING THE FUNCTION AND APPEARANCE OF THE ORIGINAL WILL BE INSTALLED INTO EXISTING OPENINGS UNLESS NOTED OTHERWISE, (U.N.O.). COORDINATE WITH STRUCTURAL. SEE WINDOW SCHEDULE A3.2.
2. ALL EXISTING EXTERIOR LIGHTING TO BE REMOVED AND REPLACED WITH NEW LIGHTING FIXTURE SHOWN ON SHT. A3.1.
3. REMOVE ALL WOOD WAINSCOT. INSPECT CONDITION OF EXISTING FORMERLY COVERED WALL AND REPORT FINDINGS TO ARCHITECT.
4. RECONFIGURE DOWNSPOUTS ONCE WAINSCOT IS REMOVED.

1 MAIN LEVEL FLOOR PLAN
SCALE: 3/16" = 1'-0"



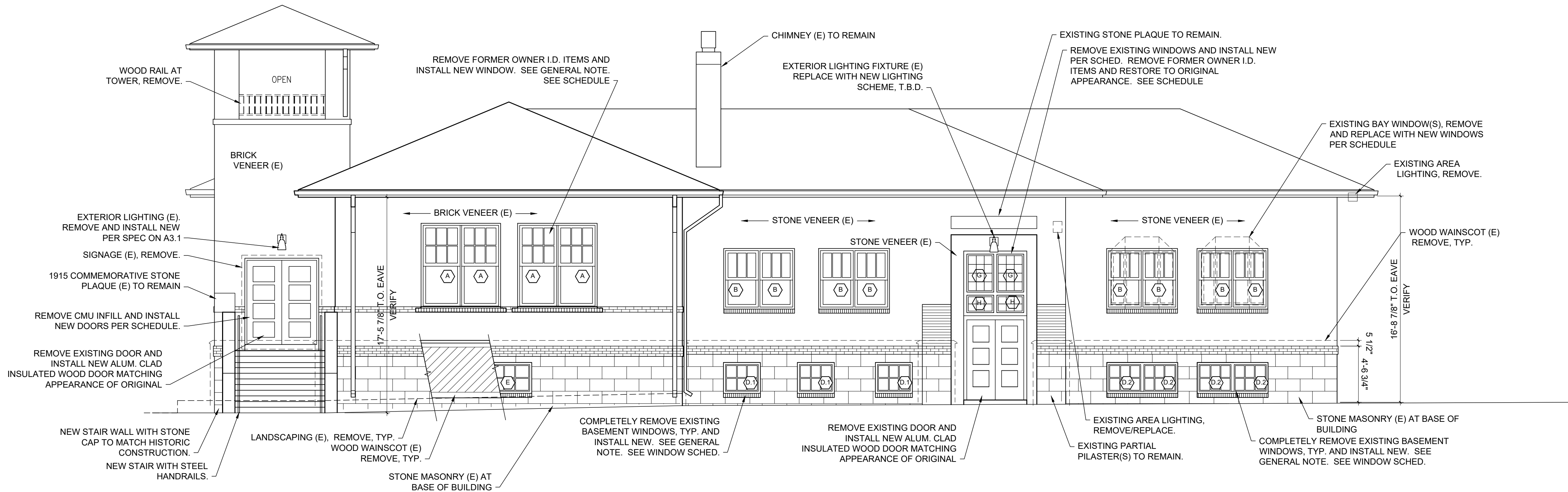
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5690 YUKON REMODEL
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Arvada, Colorado 80002

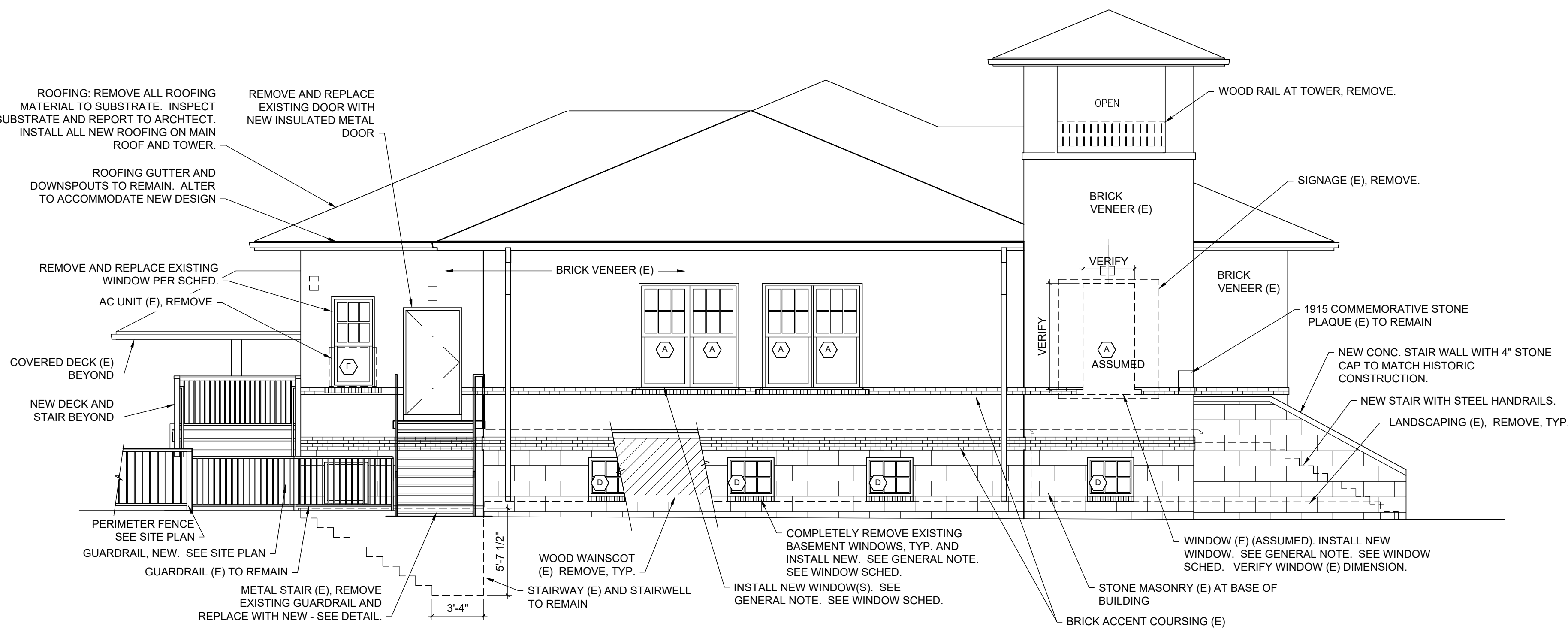
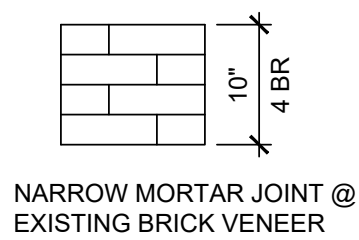
sheet	MAIN FLOOR PLAN
date	9/29/2023
drawn	FG
checked	JM
sheet	A2.1



1 WEST ELEVATION
SCALE: 3/16" = 1'-0"

GENERAL NOTES- ELEVATIONS:

1. NEW WINDOWS MATCHING THE FUNCTION AND APPEARANCE OF THE ORIGINAL WILL BE INSTALLED INTO EXISTING OPENINGS UNLESS NOTED OTHERWISE, (U.N.O.). COORDINATE WITH STRUCTURAL. SEE WINDOW SCHEDULE A3.2.
2. ALL EXISTING EXTERIOR LIGHTING TO BE REMOVED AND REPLACED WITH NEW LIGHTING FIXTURE SHOWN ON SHT. A3.1.
3. REMOVE ALL WOOD WAINSCOT. INSPECT CONDITION OF EXISTING FORMERLY COVERED WALL AND REPORT FINDINGS TO ARCHITECT.
4. RECONFIGURE DOWNSPOUTS ONCE WAINSCOT IS REMOVED.



2 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



STEEL BULKHEAD DOOR AT EAST PATION

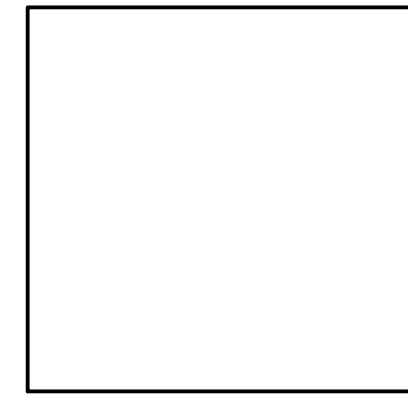
3 BULKHEAD DOOR
SCALE: N/A



TROY LIGHTING LIBERTY COLLECTION - 18"

4 EXTERIOR LIGHT SCONCE, TYP.
SCALE: N/A

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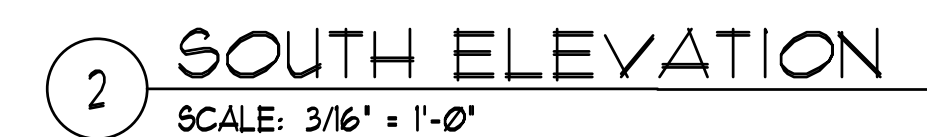
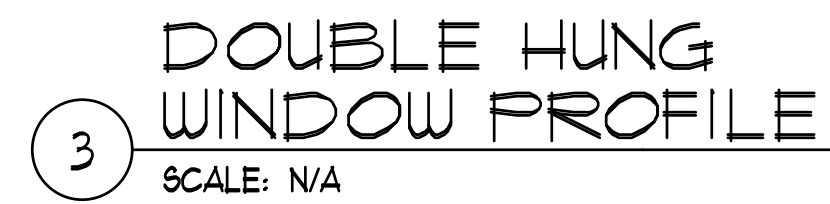


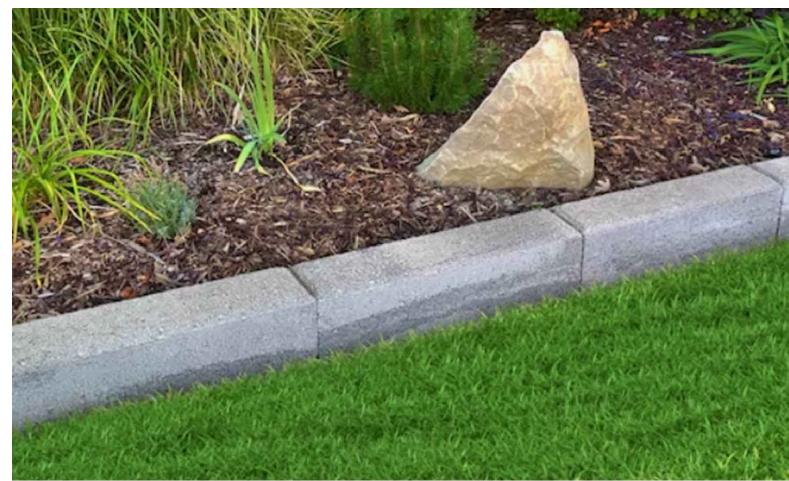
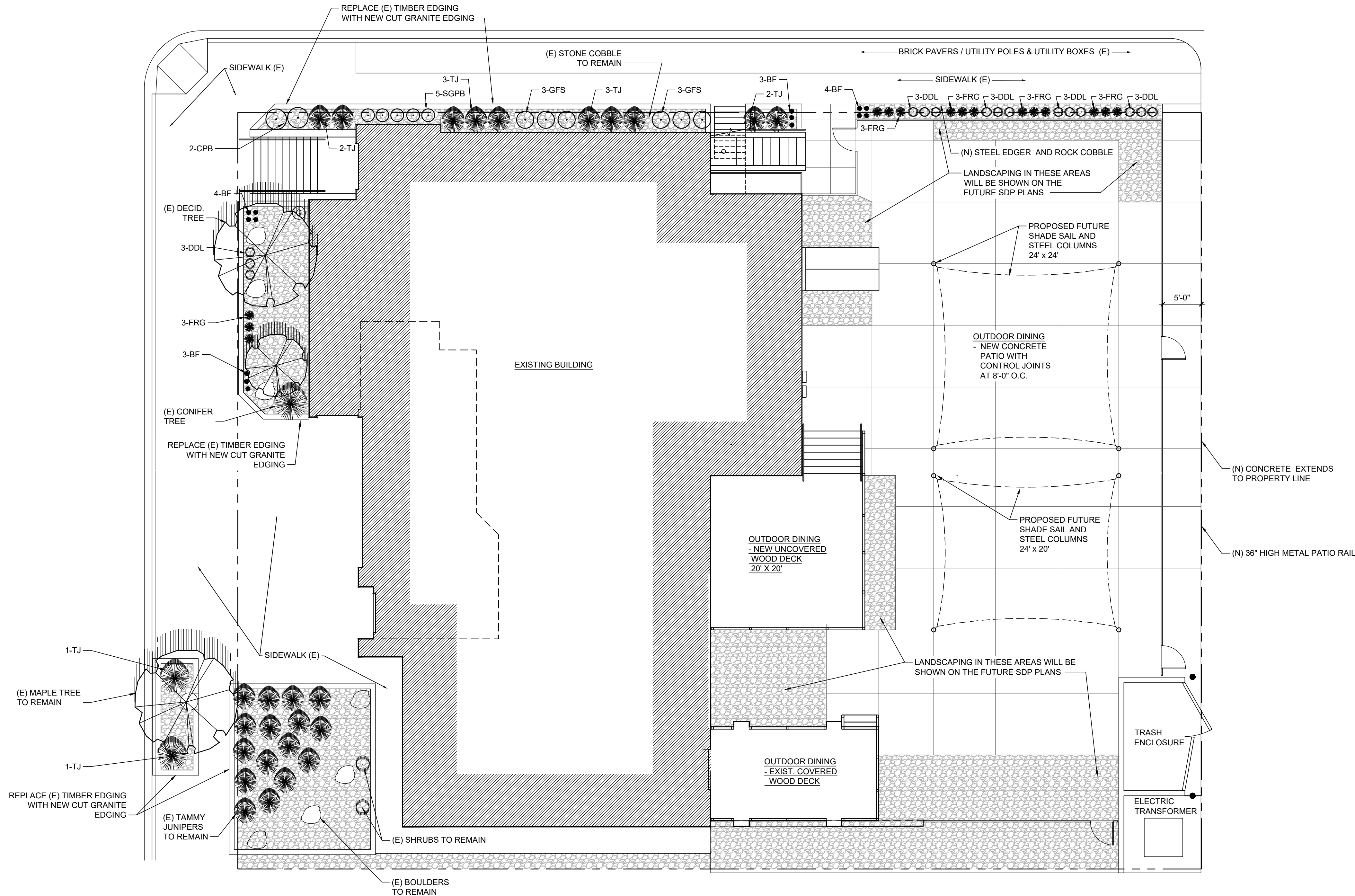
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1. NEW WINDOWS MATCHING THE FUNCTION AND APPEARANCE OF THE ORIGINAL WILL BE INSTALLED INTO EXISTING OPENINGS UNLESS NOTED OTHERWISE, (U.N.O.). COORDINATE WITH STRUCTURAL. SEE WINDOW SCHEDULE A3.2.
2. ALL EXISTING EXTERIOR LIGHTING TO BE REMOVED AND REPLACED WITH NEW LIGHTING FIXTURE SHOWN ON SHT. A3.1.
3. REMOVE ALL WOOD WAINSCOT. INSPECT CONDITION OF EXISTING FORMERLY COVERED WALL AND REPORT FINDINGS TO ARCHITECT.
4. RECONFIGURE DOWNSPOUTS ONCE WAINSCOT IS REMOVED.

TYPE	QTY	LOCATION	NEW/ EXISTING	TYPE	WINDOW DIMENSIONS	OPERATIONAL/ NON-OP		ROUGH OPENING	REMARKS
A	9	1ST FLOOR	NEW	AL CLAD WD	PR 3'-2" W X 6'-8-1/2"H	OPERATIONAL	SINGLE HUNG	6'-5-1/2" W X 6'-10-1/2"H	
B	8	1ST FLOOR	NEW	AL CLAD WD	PR 2'-9-1/2" W X 5'-4-1/2"H	OPERATIONAL	SINGLE HUNG	5'-9" W X 5'-0"H	
C	4	1ST FLOOR	NEW	AL CLAD WD	3' 2'-1/2" W X 6' 8'-1/2"H	OPERATIONAL	SINGLE HUNG	2'-10" W X 5'-0"H	
D.1	7	BASEMENT	NEW	AL CLAD WD	2'-11" W X 2'-5"H	NON-OP	PICTURE	3'-0" W X 2'-6"H	
D.2	4	BASEMENT	NEW	AL CLAD WD	PR 2'-11" W X 2'-5"H	NON-OP	PICTURE	5'-9" W X 2'-6"H	
E	1	BASEMENT	NEW	AL CLAD WD	2'-10-1/4" W X 2'-5"H	NON-OP	PICTURE	5'-9" W X 2'-6"H	
F	1	1ST FLOOR	NEW	AL CLAD WD	4'-3" W X 2'-5"H	NON-OP	SINGLE HUNG	5'-9" W X 2'-6"H	
G	2	1ST FLOOR	NEW	AL CLAD WD	2'-2" W X 3'-1"H	NON-OP	PICTURE	2'-2" W X 3'-1"H	
H	2	1ST FLOOR	NEW	AL CLAD WD	2'-2" W X 3'-1"H	NON-OP	PICTURE	2'-2" W X 3'-1"H	

-
4. RECONFIGURE DOWNPOUTS ONCE WAINSCOT IS REMOVED.
- COVERED DECK (E)
- 12
5
- 12
6
- REMOVE EXISTING WINDOWS AND INSTALL NEW PER SCHED. SALVAGE EXISTING DECORATIVE CMU FOR RE-USE ON SOUTH ELEVATION
- WOOD CORNICE TRIM (E) TO REMAIN
- NEW WOOD DECK, STAIRS AND GUARDRAIL
- EXISTING DOOR AND SIDELITE. REMOVE AND REPLACE WITH NEW ALUM. CLAD DOOR AND SIDELITE OF SAME SIZE IN EXISTING OPENING
- (E) CHIMNEY TO REMAIN
- STONE VENEER (E)
- BRICK VENEER (E)
- BRICK VENEER (E)
- EXTERIOR LIGHTING FIXTURE (E) REPLACE WITH NEW LIGHTING PER SPEC. SHT. A3.1
- METAL STAIR (E) TO REMAIN. REMOVE EXISTING HANDRAIL AND REPLACE WITH NEW GUARDRAIL AS SHOWN.
- NEW GUARDRAIL FOR EXISTING STAIRS
- STAIRWAY (E) TO REMAIN
- REMOVE EXISTING DOOR AND REPLACE WITH NEW DOOR AND SIDELITE PER SCHED.
- WOOD WAINSCOT (E) REMOVE, TYP.
- PAVERS (E)
- FILL IN DOOR(E). MATCH EXTERIOR VENEER
- REMOVE OVERHEAD DOOR RAIN COVER ROOF. REPAIR WALL.
- EXISTING BLOCKED WINDOW(S) G.C. TO INSPECT AND ENSURE BLOCKED WINDOW IS WEATHER-TIGHT AND SECURE. REPLACE BLOCKING IF REQUIRED.
- EXISTING ELECTRICAL SERVICE. RELOCATED TO SOUTH SIDE BUILDING
- BLOCKED WINDOW (E). REPLACE WITH NEW WINDOW PER SCHED. SALVAGE EXISTING DECORATIVE CMU FOR RE-USE ON SOUTH ELEVATION
- NEW BULKHEAD 'CELLAR' DOOR
- REMOVE STAIR COVER STRUCTURE (E)
- 1
EAST ELEVATION
- SCALE: 3/16" = 1'-0"
- Wood railing not appropriate.
- | H | 2 | 1ST FLOOR | F |
|----|---------------------|-----------|---|
| 1. | ALL DIMENSIONS SHOW | | |
| 2. | REPLACEMENT WINDOW | | |
| 3. | EXISTING WINDOWS ON | | |





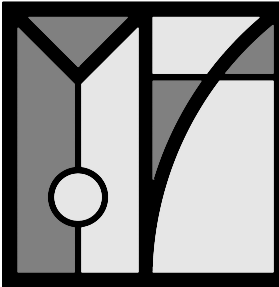
2 GRANITE REPLACEMENT EDGING
SCALE: NONE

1 CONCEPTUAL LANDSCAPE PLAN
SCALE: 1/8" = 1'-0"

- LEGEND
- DDL = DWARF DAY LILLY
 - FRG = FEATHER REED GRASS (KARL FORESTER)
 - BF = BLUE FESCUE
 - CPB = CRIMSON PYGMY BARBERRY
 - SGPB = SUNJOY GOLD PILLAR BARBERRY
 - GFS = GOLD FLAME SPIREA

revision		
no.	date	by

M+A ARCHITECTS



ARCHITECTURE & PLANNING

LITTLETON PROFESSIONAL BUILDING

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5690 YUKON REMODEL

5690 YUKON STREET

Arvada, Colorado 80002

sheet	LANDSCAPE PLAN
date	9/29/2023
drawn	BE
checked	JM
sheet	LS 1.0



REPORT TO DESIGN REVIEW ADVISORY COMMITTEE

AGENDA ITEM
5.A.

TO: PLANNING COMMISSION

DATE: October 19, 2023

SUBJECT: Introduction of New Director - Jessica Garner

Report in Brief

MOTION:

MOVED BY: _____

That DA2020-0102, NAME OF CASE and LOCATION, be recommended to City Council for (approval subject to the condition stated in the Staff Report, Item ___, Page ___) (denial).

This motion is based on the findings of fact and approval criteria on Page(s) ___ of the Staff Report.

This motion is based on the following findings of fact for denial: (Recite approval criteria you believe the evidence fails to satisfy and your reasons).

YES _____ NO _____ ABSENT _____

Prepared by:

Josie Suk, Development Systems and Administrative Manager

Reviewed by:

Approved by:

Enclosure, exhibits & attachments required to support the report