

City of Arvada

Planning Commission Agenda

MAY 16, 2023
CITY COUNCIL CHAMBERS
Regular Business

Commission Members:

Michael P. Griffith, Chair
Doug Magee, Vice Chair
Tim Knapp, Secretary
Tom Aljinovich
Brandon Figliolino
Andrew Gay
Steve Hannan

Staff Members Usually Present:

Ryan Stachelski, Dir. of Community and Economic Development
Emily Grogg, Senior Assistant City Attorney
Rob Smetana, Manager of City Planning and Development
Jenny Wolfschlag, Manager of Development Engineering
Josie Suk, Systems and Administrative Manager
Heidi Van Gieson, Administrative Specialist
Dixielee Rodriguez, Administrative Specialist

Info: 720-898-7435

The meeting will include an open comment period where participants will have three minutes to provide comments to the Commission. Members of the public who wish to provide public comment on any agenda item or during general public comment should go to www.arvada.org/PLNCOMMISSION for information about how to participate. If any member of the public wishes to submit written comment regarding the item on the agenda, you may submit comments in writing via email to the Planning Department at cedboardsandcommission@arvada.org. Comments must be received no later than 5 p.m. the day before the meeting. All timely comments submitted will be presented to the Planning Commission. Please contact Josie Suk with any questions at 720-898-7627.

PLANNING COMMISSION MEETING – 6:15 PM

1. CALL TO ORDER
2. PLEDGE OF ALLEGIANCE
3. ROLL CALL OF MEMBERS
4. APPROVAL OF MINUTES
 - A. May 2, 2023 Planning Commission Meeting Minutes
5. GENERAL BUSINESS
6. REPORTS
7. PETITIONS & COMMUNICATIONS
8. PUBLIC HEARINGS
 - A. An Ordinance Rezoning Certain Land within The City of Arvada, Candelas Point Infrastructure and Kiddie Academy, From City of Arvada PUD (Planned Unit Development) To City Of Arvada CG (Commercial, General), and Amending the Official Zoning Maps of the City of Arvada,

Colorado, 9265 Yucca Lane.

- B. CP2023-0005 A Resolution By The Planning Commission For The City Of Arvada, Colorado To Amend The 2014 Arvada Comprehensive Plan Land Use Designation Pertaining To Commercial, Neighborhood (CN) Zoning District.

9. OTHER ITEMS

10. ADJOURN



SUMMARY MINUTES OF PLANNING COMMISSION ACTION HELD

May 2, 2023

Planning Commission meeting minutes are not an exact transcript and represent key points and the basis of discussion.

1. CALLED MEETING TO ORDER– By Michael P. Griffith at 6:19 P.M.

2. PLEDGE OF ALLEGIANCE

3. ROLL CALL OF MEMBERS

Those present: Michael P. Griffith, Tim Knapp, Tom Aljinovich, Brandon Figliolino, Doug Magee, Steve Hannan, Andrew Gay

THOSE ABSENT

None

ALSO PRESENT: Rob Smetana, City Planning Manager; Emily Grogg, Sr. Ass't. City Attorney; Patty McCartney, Sr. Planner; Heidi Van Gieson, Development Tech; Dixielee Rodriguez, Recording Secretary.

4. APPROVAL OF MINUTES

April 18, 2023. The minutes stand approved as corrected and printed.

5. GENERAL BUSINESS:

None

6. REPORTS

None

7. PUBLIC COMMENT

There was no one wishing to speak. Public Comment was closed.

8. PUBLIC HEARINGS

8.A. OTH2022-0015 AN ORDINANCE AMENDING CERTAIN PROVISIONS WITHIN THE LAND DEVELOPMENT CODE, OF THE ARVADA CITY CODE TO ADD THE ZONING DISTRICT, COMMERCIAL, NEIGHBORHOOD

Mr. Griffith swore in all guests that will be speaking.

Mr. Griffith opened the public hearing.

Mr. Griffith entered into the record the staff report for OTH2022-0015 dated May 2, 2023, publication and public comment.

Mr. Smetana stated the posting notice is in order, and one public comment was received.

Mr. Griffith asked Mr. Smetana to introduce the project.

Mr. Smetana introduced the project. The Commercial Neighborhood (CN) zoning distinct is being proposed to achieve a City Council strategic result. This zoning district allows for pocket neighborhoods that could be located within or on the edges of existing residential neighborhoods throughout the City. This will accommodate small scale retail, restaurant and service uses serving neighborhood needs. The zoning district is typically along collector or arterial streets. Signage would comply with the Olde Town Sign district. Parking area to be accessed only from an arterial or collector street unless an alternative is allowed through the Conditional Use process. (City Council approval). Interested private parties/developers would need to apply for rezoning and Conditional Use. Maximum of 1 acre and building heights would be identical to residential zoning districts.

PUBLIC COMMENT

Gina Hallisey - 14626 W 68th Pl Arvada, CO. Represent the Ralston Valley Coalition. Asking about parking and where? Want more definition on parking. Are the only uses allowed the ones listed or can there be others? Define what is considered small scale. Concerns about Air BnB next door or what is the process. This is a very small footprint and what the process is going to be.

APPLICANT REBUTTAL

Mr. Smetana - stated for parking access would have to come off collector or arterial street. On site parking will be required. Uses on the list are only ones allowed unless the code was amended at some point. Keeping these small to a maximum of 1 acre site. No more than 2 stories. Keep it close to the residential size and landscape requirement. Notification distance for a potential case is 1000 feet, which is consistent with all other public hearing requirements.

Mr. Griffith closed public comment.

QUESTIONS FROM THE COMMISSION

Mr. Hannan asked if there is any place in the city where CN is now and what is the process?

Mr. Smetana stated there are no areas in the city zoned CN and applicants would have to approach the city with a rezoning request and go through a Public Hearing process with the Planning Commission and then to City Council for approval.

Mr. Hannan asked if there would be administrative approval?

Mr. Smetana stated no this would not be administrative approval they would have to go through the same process and requirements that all Public Hearing do.

Mr. Hannan asked about residential parking and would CN have the same parking requirements as residential parking?

Mr. Smetana stated that no CN parking is based on use of the building. Typical commercial use parking requirements.

Mr. Aljinovich asked about Conditional Use- the term, if there is a time frame and can it be taken away.

Mr. Smetana stated if it is approved it will run with the land. If it is approved and no action is taken after a couple of years then it will be taken away. If there is no violation then it runs with the land.

Mr. Gay asked, does a Bed and Breakfast have the same requirements as an AirBnB?

Mr. Smetana stated bed and breakfast is a little different because the owner lives at the residence which is the place of the Bed and Breakfast. In the alternative, a management company can run an AirBnB

Mr. Knapp asked about the purpose as stated in the Staff report. CN is to accommodate neighborhood needs.

Mr. Smetana stated the proposal is to reflect Council's strategic plan to develop more areas like Five Parks, but not as big. You would not need to get in your car to go get coffee or go to a restaurant. That there would be neighborhood uses within walking distance or biking.

Mr. Knapp asked to define the neighborhood- is it serving adjacent to this lot or more community driven, "need for the neighborhood" to serve the need of the neighborhood.

Ms. Grogg stated that any application will need to meet the criteria of the Conditional Use. The purpose of the zoning district is to provide a benefit to the city. They would need to still present compliance with the criteria to the Planning Commission and City council. There is no requirement in the code that these businesses have to show "need".

Mr. Knapp asked if the Use be singular or can it be two businesses be in one place.

Mr. Smetana stated there can be two businesses like Bed and Breakfast and a restaurant.

Ms. Grogg stated that you will see a site plan when it goes before the Planning Commission and a specific use would be approved at that time.

Mr. Smetana also stated the Planning Commission would have to approve both businesses.

Mr. Knapp asked if there are other communities in the Denver metro area that have this zoning?

Mr. Smetana stated that yes there are other communities that have similar districts not specifically the CN district - Lakewood and Westminster.

Mr. Magee asked if someone could ask for a rezoning on an existing area/building on a piece of property?

Mr. Smetana stated that is correct or there could be conversion of existing homes.

Mr. Magee asked if a project was located on two residential streets would they not qualify for CN zoning?

Mr. Smetana stated that is correct, they would have to gain access off an arterial street or collector street because of the parking.

Mr. Magee asked about allowed uses and conditional use - Would a memory care facility be allowed in this CN?

Mr. Smetana stated it was not allowed in the CN district. Memory care facilities are normally on a larger scale than what CN would allow.

Mr. Hannan asked about 66th and Oberon where there is a jewelry store, a beauty shop and there used to be a video store but there is residential all around. Is this the type of thing we would be looking at?

Mr. Smetana stated yes, that's a little on a larger scale but yes, that would be similar in that the described area is a mixed use. In contrast, this is just one lot.

Mr. Griffith asked could a coffee roaster be a use if it is not a listed use or a use like laundromat?

Mr. Smetana stated that a coffee shop and coffee roasting would fit this, but a laundry mat would not fit.

Mr. Griffith asked about restaurants, would this restrict the type of restaurant?

Mr. Smetana stated that it would be restricted, a drive thru would not be allowed, it has to be a sit down.

Mr. Griffith stated that he likes the list of Conditional Uses.

MOTION: Agenda Item 8.A

It was moved by Mr. Knapp that OTH2023-0015 That an Ordinance amending certain provisions within the Land Development Code, of the Arvada City Code to add the zoning district, Commercial, Neighborhood (CN), be recommended to City Council for approval.

This motion is based on the findings of fact and approval criteria on Page(s) 3 of the Staff Report.

DISCUSSION OF MOTION

None

Those voting Yes: Griffith, Hannan, Ajinovich, Magee, Figliolino, Gay, Knapp

Those voting No:

Those absent: None

The motion carried: 7-0

8.B CP2023-0001 A Resolution by the Planning Commission for the City of Arvada, Colorado to Amend the 2014 Arvada Comprehensive Plan to incorporate the New Town Sub-Plan, generally located in the area along Wadsworth Boulevard and Bypass between the G Line tracks on the north and Interstate 70 on the south. The Arvada Marketplace shopping center along 52nd Avenue is also included, as are commercial and light industry areas east of the shopping center, in the City of Arvada, CO.

Mr. Griffith opened the public hearing.

Mr. Griffith asked, are there any posting requirements?

Ms. McCartney stated yes, the public hearing was published and noticed per Land Development Code.

Mr. Griffith asked staff to confirm that the required documents and notices were in order.

Ms. McCartney confirmed that the published notices, and publication were in order.

Mr. Griffith asked if there are any additional items received that need to be made a part of the permanent record?

Ms. McCartney stated that there are no additional items.

Mr. Griffith entered into the record the staff report for CP2023-0001 posting of notice, publication, and Staff report.

Mr. Griffith ask Patty McCartney to introduce the project

Ms. McCartney introduced the project to the Planning Commission. This project creates a long term vision for future development and redevelopment in the New Town area of the City. The New Town Sub-Area plan further implements the goals and policies of the Comprehensive Plan developed with extensive community engagement.

PUBLIC COMMENT

None

IN OPPOSITION

None

IN FAVOR

None

APPLICANT REBUTTAL

None

Mr. Griffith closed public comment.

QUESTIONS FROM THE COMMISSION

Mr. Aljinovich asked is there a time frame for implementing the plan?

Ms. McCartney stated the time frame for implementation action items are flexible and varied timeframes.

Mr. Griffith asked are these recommendations co-dependent or if one didn't happen can you proceed with another?

Ms McCartney stated yes they are independent and can accomplish one at a time or as many as can be done at a time.

Mr. Magee asked about excess parking in the New Town area, how are we going to let development know about this parking in this area. How is this going to be communicated?

Ms. McCartney stated that property owners were part of this process and notified of the draft and final plans.

MOTION: Agenda Item 8.B

It was moved by Mr. Aljinovich, CP2023-0001, A Resolution by the Planning Commission for the City of Arvada, Colorado to Amend the 2014 Arvada Comprehensive Plan to incorporate the New Town Sub-Plan, generally located in the area along Wadsworth Boulevard and Bypass between the G Line tracks on the north and Interstate 70 on the south. The Arvada Marketplace shopping center along 52nd Avenue is also included, as are commercial and light industry areas east of the shopping center, in the City of Arvada, CO. be recommended to City Council for approval.

This motion is based on the finding of fact and approval criteria on Pages 3 and 4 of the Staff Report.

DISCUSSION OF MOTION

Mr. Griffith stated he appreciates the effort that went into this. He notices the changes that are made from all the feedback. End up with a very comprehensive document and a good plan. He wants to commend the staff and everyone involved for this plan.

Mr. Knapp stated that he wants to echo the chairman's comments. With so many individuals involved to listen to their concern it takes a lot of skill to make one plan that is in his eyes very aggressive and very well thought through. Excited to see it be implemented.

Mr. Figliolino stated that he echoes the same as his colleagues' comments: this plan is really great and thoughtful and he is very excited for it.

Those voting Yes: Griffith, Hannan, Knapp, Ajinovich, Magee, Figliolino, Gay

Those voting No:

Those absent: None

The motion carried: 7-0

8.C CP2023-0002 A Resolution by the Planning Commission for the City of Arvada, Colorado to Amend the 2014 Arvada Comprehensive Plan to Incorporate the Northwest Arvada Sub-Area Plan, two areas generally located along State Highway 72 in the area east of Highway (SH) 93 to Indiana Street and along Indiana Street between the railroad right-of-way on the south and the City boundary on the north,in the City of Arvada, CO.

Mr. Griffith opened the public hearing.

Mr. Griffith asked, are there any posting requirements?

Ms. McCartney stated yes, the public hearing was published and noticed per Land Development Code and publication.

Mr. Griffith asked staff to confirm that the required documents and notices were in order.

Ms. McCartney confirmed that the published notices, and publication were in order.

Mr. Griffith asked if there are any additional items received that need to be made a part of the permanent record?

Ms. McCartney stated yes there is a public comment via email.

Mr. Griffith entered into the record the staff report for CP2023-0002, posting of notice, publication and public comment.

Mr. Griffith ask Patty McCartney to introduce the project.

Ms. McCartney introduced the project to the Planning Commission. This will create a long term vision for future development and redevelopment to encourage and support sustainable community development in the Northwest area of the City. There will be two phases of the Northwest Sub area plan.

PUBLIC COMMENT

Gina Hallisey - 14626 W 68th Pl Arvada, CO. Represents the Ralston Valley Coalition. Ms. Hallisey brought up big concerns with the roads and traffic. She stated that it is a complicated area with three government entities involved: Jeffco, CDOT and Arvada. She is concerned about traffic in this area. She collected about 10,000 signatures in connection with a prior development application, the number one concern is traffic. She wants to bring to the attention that Indiana will not get widened and the train trussle will not be widened unless someone comes in with a large amount of funds. She wants to make sure it is compatible with what is there and that infrastructure is there before development is done. When a developer pays a little bit for their section it does not make it happen.

APPLICANT REBUTTAL

Ms McCartney states that in the area United Pacific Railroad crossing and Indiana location has been identified as an element of the plan and transportation staff continues to pursue grant funding for this improvement. It is controlled by multi-jurisdictional entities and takes significant coordination effort. The infrastructure does get completed with new development. A lot of this area is in unincorporated areas and will not get infrastructure until annexed into the City.

Mr. Griffith closed public comment.

QUESTIONS FROM THE COMMISSION

Mr. Magee asked about phase 2, when is that schedule? Is the process going to be the same as phase 1 and do we have a timeline?

Ms. McCartney stated that phase 2 does not have a timeline, initially it was to look at land use only and during the plan process included-connectivity within this area.

Mr. Magee asked if phase 2 industrial and commercial is mostly unincorporated areas?

Ms. McCartney stated yes most of the area is unincorporated.

Mr. Magee asked if CDOT has no plan to help with funding of this area of improvements. Union Pacific just waits for it to be built. Is DRCOG (Denver Regional Council of Government) recommending this be funded?

Ms. McCartney stated through this process staff (transportation department) has requested annually for funding. The estimated cost is more than 50 million dollars. This is also in the DRCOG regional transportation plan as well.

Mr. Smetana stated unfortunately it is on the DRCOG transportation plan unfunded list.

Mr. Magee stated DRCOG is Denver Regional Council of Government and if it is not there it really doesn't get funded unless it is privately funded.

Mr. Magee asked about RTD (Regional Transportation Department) not serving Candelas area?

Ms. McCartney stated that this area does not have the ridership to support RTD routes.

Mr. Gay stated more of a comment sharing the concern about traffic. The purpose of the plan is not driving development, it is guiding development.

Mr. Gay stated because of the pandemic one of the meetings was held by zoom. He feels it gives you a chance to think about a question. Having zoom meetings for public input in the future is food for thought.

MOTION: Agenda Item 8.C

It was moved by Mr. Knapp, CP2023-0002, A Resolution by the Planning Commission for the City of Arvada, Colorado to Amend the 2014 Arvada Comprehensive Plan to Incorporate the Northwest Arvada Sub-Area Plan, two areas generally located along State Highway 72 in the area east of Highway (SH) 93 to Indiana Street and along Indiana Street between the railroad right-of-way on the south and the City boundary on the north, in the City of Arvada, CO, be (ratified and approved)

This motion is based on the finding of fact and approval criteria on Page 3 & 4 of the Staff Report.

DISCUSSION OF MOTION

Mr Griffith states once again thanks for all the hard work. Personally excited that we are in a city that tries to get ahead with traffic challenges and development challenges. Also acknowledge we have to take the risk to do this.

Those voting Yes: Griffith, Hannan, Knapp, Ajinovich, Magee, Figliolino, Gay

Those voting No:

Those absent: None

The motion carried: 7-0

9. OTHER ITEMS

Mr. Smetana mentioned that we have items on the agenda for the May 16th and June 6th meeting as well.

Mr Griffith asked for a preview of what is coming on May 16th?

Mr. Smetana stated Candelas point and Kiddie academy, these are rezoning and a follow up on to the city ordinance on the comprehensive plan amendment.

10. **ADJOURNED** at 7:22P.M.

Michael P. Griffith, Chair

Tim Knapp, Secretary

Dixielee Rodriguez, Recording Secretary



REPORT TO PLANNING COMMISSION

AGENDA ITEM
8.A.

TO: PLANNING COMMISSION

DATE: May 16, 2023

SUBJECT: An Ordinance Rezoning Certain Land within The City of Arvada, Candelas Point Infrastructure and Kiddie Academy, From City of Arvada PUD (Planned Unit Development) To City Of Arvada CG (Commercial, General), and Amending the Official Zoning Maps of the City of Arvada, Colorado, 9265 Yucca Lane.

Report in Brief

MOTION:

MOVED BY: _____

That An Ordinance Rezoning Certain Land within The City of Arvada, Candelas Point Infrastructure and Kiddie Academy, From City of Arvada PUD (Planned Unit Development) To City Of Arvada CG (Commercial, General), and Amending the Official Zoning Maps of the City of Arvada, Colorado, 9265 Yucca Lane., be recommended to City Council for (approval)(denial).

This motion is based on the findings of fact and approval criteria on Page 7 of the Staff Report.

This motion is based on the following findings of fact for denial: (Recite approval criteria you believe the evidence fails to satisfy and your reasons).

YES _____ NO _____ ABSENT _____

Prepared by:

Dixielee Rodriguez, Administrative Specialist

Reviewed by:

Approved by:

Jeremiah Bebo, Planner II	5/8/2023
Josie Suk, Development Systems and Administrative Manager	5/8/2023
Rob Smetana, Manager of City Planning and Development	5/8/2023
Emily Grogg, Senior Assistant City Attorney	5/8/2023
Ryan Stachelski, Director of Community and Economic Development	5/9/2023

SUBJECT: An Ordinance Rezoning Certain Land within The City of Arvada, Candelas Point Infrastructure and Kiddie Academy, From City of Arvada PUD (Planned Unit Development) To City Of Arvada CG (Commercial, General), and Amending the Official Zoning Maps of the City of Arvada, Colorado, 9265 Yucca Lane.

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ITEM: 8.A.

Enclosure, exhibits & attachments required to support the report

City of Arvada
Community and Economic Development Department
PUBLIC HEARING STAFF REPORT

Candelas Point Infrastructure/Kiddie Academy
Rezoning
DA2022-0103

NATURE OF REQUEST

Candelas Point, LLC and is requesting approval of a rezoning for all of Lot 1, Block 1, Candelas Commercial Filing No. 2, otherwise known as Candelas Point. The current zoning is PUD (Planned Unit Development) and the rezoning request is to CG (Commercial, General). A Master Development Plan and Minor Subdivision have also been submitted and are currently under review by staff. If the Rezoning is approved, the minor subdivision would create three new developable lots. All of which are intended to be used for commercial/office/retail uses. Only one intended user is known at this time (Kiddie Academy). The Master Development Plan would include the construction of a new private road used to service the three new lots and include new public infrastructure needed to service the property.

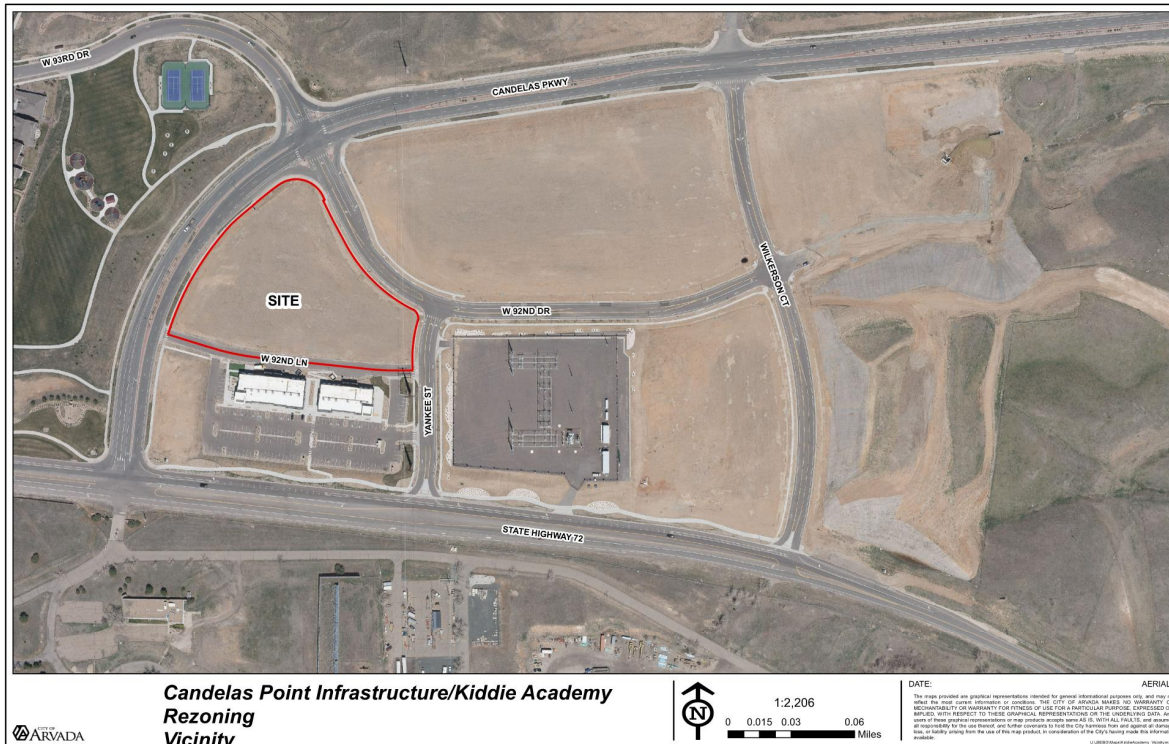
Kiddie Academy has submitted a Site Plan application and is being reviewed concurrently with the rezoning application by staff. Kiddie Academy is proposing to construct an approximately 11,000 square-foot, single-story building which will be used for child daycare services.

MAJOR MODIFICATIONS REQUESTED

The Applicant is not requesting major modifications to the Arvada Land Development Code (LDC) standards as part of this project.

LOCATION AND HISTORY

The subject property is approximately 4.16 acres in size and is located north of Colorado State Highway 72 and Candelas Parkway at 9265 Yucca Lane and is currently undeveloped. The property was annexed into the City in 1991 with the Jefferson Center No. 5 Annexation. The property was originally platted in 2005 with the Vauxmont Minor Subdivision and further subdivided in 2018 with the Candelas Commercial Filing No. 2 subdivision.



NEIGHBORHOOD MEETING

Division 8-2-2 of the Land Development Code requires that at least one neighborhood meeting be held for projects that require public hearings before the Planning Commission and City Council.

The required neighborhood meeting for this project took place on November 16, 2022. The applicant, staff, and three neighbors were in attendance.

Questions asked primarily related to anticipated future development, traffic, and pedestrian safety.

The applicant prepared a summary of the meeting, which is attached.

PUBLIC NOTIFICATION

Division 8-2-4 of the Land Development Code requires public notification for all public hearings as follows:

Written Notice: At least 15 days prior to all public hearings, written notice must be mailed to all property owners within 1,000 feet of the subject property and to all homeowners associations and neighborhood associations with a known interest in the subject property. The applicant will

provide an affidavit of mailing verifying this requirement has been met prior to the public hearing.

Posted Notice: At least 15 days prior to all public hearings, signs notifying the public of the hearing must be posted on the subject property. The applicant will provide a posting log verifying that this requirement has been met prior to the public hearing.

Published Notice: At least 15 days prior to all public hearings, notice of the hearing must be published in a newspaper of general circulation in the City. The required notice has been published.

SEVERED MINERAL RIGHTS

At least 30 days prior to the public hearing, written notice of the application must be mailed to any owner of mineral rights associated with the subject property. The applicant has provided the required Certification of Notice pursuant to Colorado Revised Statute 24-65.5-103.

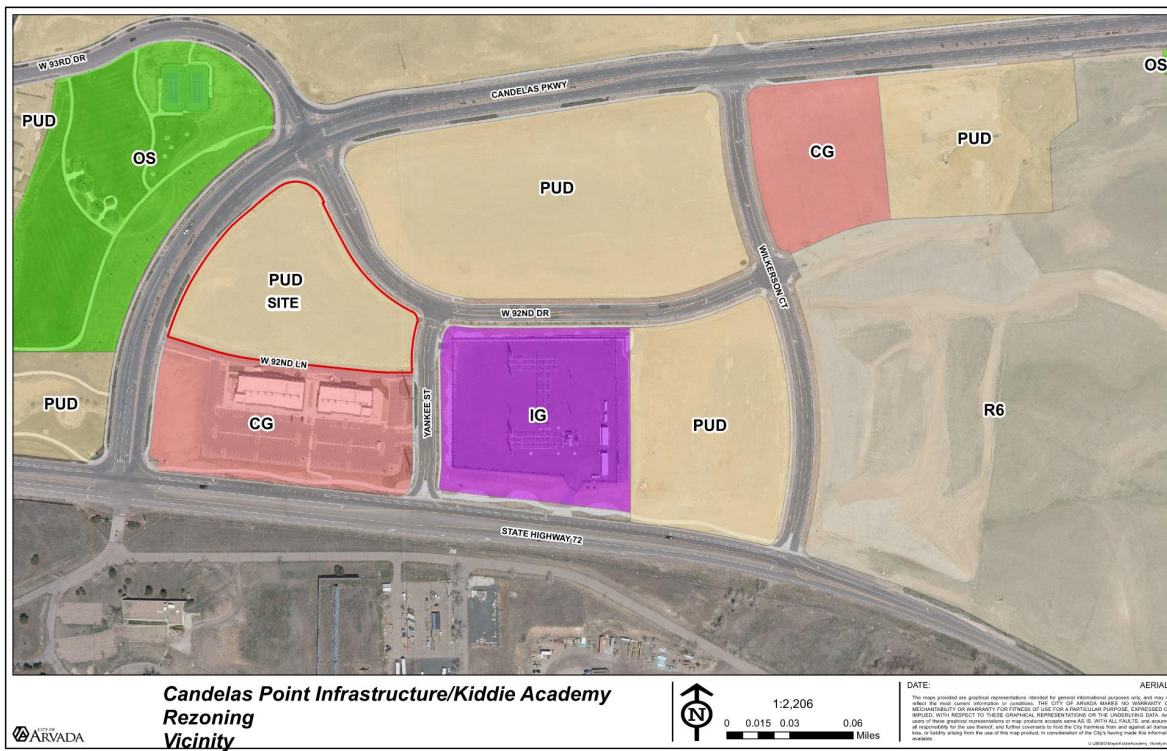
DEVELOPMENT REVIEW TIMELINE

Review of the application began on December 12, 2022. Three reviews were required prior to proceeding with public hearings for the Rezoning. Additional reviews will be required for the Master Development Plan, Minor Subdivision and Kiddie Academy Site Plan.

ALIGNMENT WITH CITY COUNCIL STRATEGIC PLAN

The project is consistent with the City Council Strategic Plan principles for the Community and Economic Development work system.

ZONING AND LAND USE



The subject property is currently zoned PUD (Planned Unit Development) and the applicant is requesting a rezone to CG (Commercial, General).

Surrounding properties are zoned and utilized as follows:

Direction	Zoning	Actual Use
North (across Candelas Parkway and W. 92 nd Drive)	PUD	Undeveloped Lot
South (across HWY 72)	Jefferson County I-2	Industrial Uses
East (across Yankee Street)	IG (Industrial, General)	Xcel Utilities
West (across Candelas Parkway)	OS (Parks and Open Space)	Park

The applicant proposes to rezone the subject site to CG which is intended “to accommodate a wide variety of general retail and service uses, as well as professional and business offices serving both neighborhood and area-wide needs. This zoning district is typically situated along arterial streets, or where other appropriate high-volume vehicular access is available.” The CG zone district generally reflects a commercial/office/retail only environment with no residential uses allowed.

If approved, the rezoning would allow all future users to develop or redevelop their sites utilizing an administrative entitlement process provided that their development application/s meet or

exceeded all of the applicable standards and regulations in the CG zone district. Allowed uses include but are not limited to: brew pubs and distilleries, all types of recreation, restaurants including fast-food, theatres, retail sales and services type 1 and type 2, general or professional offices, medical offices, day care centers, light motor vehicle service and repair, and others.

PROJECT ANALYSIS

Compliance with the Comprehensive Plan

The project complies with the following goals and policies within the Comprehensive Plan:

POLICY L-5.1: Targeted Redevelopment Areas

The City will continue to plan for and promote redevelopment in targeted redevelopment areas (see Figure 2-6. Redevelopment Areas) Targeted redevelopment areas include: Northwest Arvada

GOAL ED-3: Plan for well-located, high-quality commercial developments.

POLICY ED-3.1: Commercial Development in “Centers”

The City will plan for a hierarchy of commercial development at major intersections to serve the future needs of the community, including neighborhood and regional commercial centers. The City should discourage strip commercial development along arterial roadways where inappropriate.

POLICY ED-3.2: Neighborhood and Community Commercial Centers

The City will plan for neighborhood commercial developments that are compatible with and designed to serve nearby residential areas. These retail developments often contain an anchor such as a grocery store anchor and other service retail shops. New retail development adjacent to neighborhoods should provide direct pedestrian connections, transitional setbacks, and landscape buffers.

GOAL ED-4: Redevelop and revitalize existing commercial and industrial areas.

POLICY ED-4.1: Promote Redevelopment of Underutilized Commercial Areas

The site is identified as Neighborhood and Community Commercial/Office on the Future Land Use map within the Arvada Comprehensive Plan. The rezoning to CG is consistent with the Plan and is the zone district designed to implement the intent of the map designation. The rezoning will allow future commercial, office, and retail uses to locate on the site and develop in accordance with the LDC.

Setbacks

The CG zone district requires that non-residential buildings be set back 20 feet from a front or street-side property line, ten feet from an internal side and 20 feet from a rear. Setbacks will be reviewed as part of any Site Plan application.

The proposed Kiddie Academy exceeds these requirements.

Building Height

The maximum building height allowed in this CG zoning district is 45 feet. Building height will be reviewed as part of any Site Plan application.

The proposed Kiddie Academy shows a height of 26 feet.

Open Space

The CG zoning district requires a minimum of 20 percent of the site be landscape surface area. Compliance with the landscaped surface area will be reviewed as part of any Site Plan.

The proposed Kiddie Academy shows a landscape surface area of 20 percent.

In the CG zone district only five percent of the site may be used for outdoor storage.

Landscaping, Buffering and Fencing

Landscaping for individual pad sites will be required to comply with the standards and regulations within LDC 4-6 and any others that may apply. A landscape plan will be required to be submitted with any Site Plan application.

Landscaping for the proposed Kiddie Academy site includes 23 trees (deciduous, ornamental, and evergreen) and a mix of shrubs and turf. An outdoor, fenced playground area to the west of the building is being provided for the children in the care of the center.

Building Design

All buildings constructed on the future lots will be required to adhere to Chapter 5 (Building Design) of the LDC. Design will be reviewed with any future Site Plan application.

Kiddie Academy is proposing to construct a single-story building to be used as a child day care center. The building would be approximately 26 feet in height and constructed mostly of brick, an EIFS stucco system, and storefront system with transparent windows.

Circulation and Connectivity

One private drive will be constructed with the master development plan connecting West 92nd Lane (a private drive) to West 92nd Drive (a public street). No new access onto Candelas Parkway will be constructed. The three new lots will all take access from the new private drive.

Grading and Drainage

As existing grades are generally flat, however, grading will be designed to slope from the west to the east in order to route drainage flows to a new public storm system within the private drive. Those flows will then be routed to a regional detention pond constructed with the overall Candelas Commercial Filing No. 2 improvements.

Parking and Loading

Off-street parking and loading requirements will be determined with any Site Plan application and will be based on the specific end user for each development parcel as required in Division 4-5 of the LDC.

Kiddie Academy is required to provide a minimum of 22 parking spaces, two of which must be ADA. However, they are choosing to provide 32 with three ADA spaces.

Utility Services

Water and sanitary sewer service is provided by JCMD and they have the capacity to service the site.

Police and Fire Protection

The proposal has been reviewed by the Arvada Fire and Protection District and is supportive of the proposal. The property is served by Arvada Police.

LAND DEVELOPMENT CODE APPROVAL CRITERIA

It is the responsibility of the applicant to justify the requested land use application. The Planning Commission should make a recommendation to the City Council based on its findings regarding the approval criteria shown in the table(s) below and upon testimony heard during the public hearing as it applied to the criteria.

Staff performed an analysis of the proposal, based on the approval criteria listed in Chapter 8 of the Land Development Code, and presents the following findings:

Div. 8-3-4 Zoning and Rezoning Approval Criteria	Finding	Rationale
1. The rezoning is consistent with the Arvada Comprehensive Plan, or an adopted sub-area plan, corridor plan, or urban renewal plan, or reflects conditions that have changed since the adoption of the Comprehensive Plan.	Complies	The rezoning to CG is consistent with the Comprehensive Plan and the Neighborhood and Community Commercial/Office designation on the Future Land Use map.
2. The intended land use is consistent with the stated intent of the proposed zoning district.	Complies	The intended use for future commercial/office/retail uses is consistent with the CG zone district.
3. Facilities and services (including sewage and waste disposal, water, gas, electricity, police and fire protection, and roads and transportation, as applicable) will, prior to development, be available to serve the subject property while maintaining adequate levels of service to existing development.	Complies	All public facilities and services are available to service to the site. Additional infrastructure necessary to service the site will be constructed with the master development plan.
4. The intended land use for which the rezoning is sought will not result in significant adverse impacts upon the natural environment, including air, water, noise, stormwater management, wildlife, and vegetation, or such impacts will be substantially mitigated.	Complies	The intended land uses will not result in significant adverse impacts.
5. The rezoning is consistent with the character of existing or planned development on adjacent properties and in the surrounding area or neighborhood, or measures will be taken to substantially buffer or otherwise substantially mitigate any negative impacts.	Complies	The rezoning is consistent with the character of existing development. Lots 2-4, Block 1 Candelas Commercial Filing No 2 located immediately south are zoned CG. And the intended character of this site will be similar.

STAFF RECOMMENDATION

Based upon project analysis and review of the Land Development Code approval criteria, staff recommends approval of the project.

The Planning Commission may recommend denial of the request(s) if it cannot make affirmative findings of the approval criteria stated above.

Neighborhood Meeting Summary

Neighborhood Meeting Summary

Candelas Point, Block 1, Lot 1 Rezoning and Kiddie Academy Day Care

Dear Mr. Bebo,

We had our neighborhood meeting last night and we had three attendees. We didn't hear any concerns related to the rezone but there was one attendee worried about traffic that would be caused by the Kiddie Academy.

Myself and Scott Higa with G3 architecture were in attendance from the Developer and Design side. There is a traffic generation study being performed by Kimley Horn for the area. It will be included with the application.

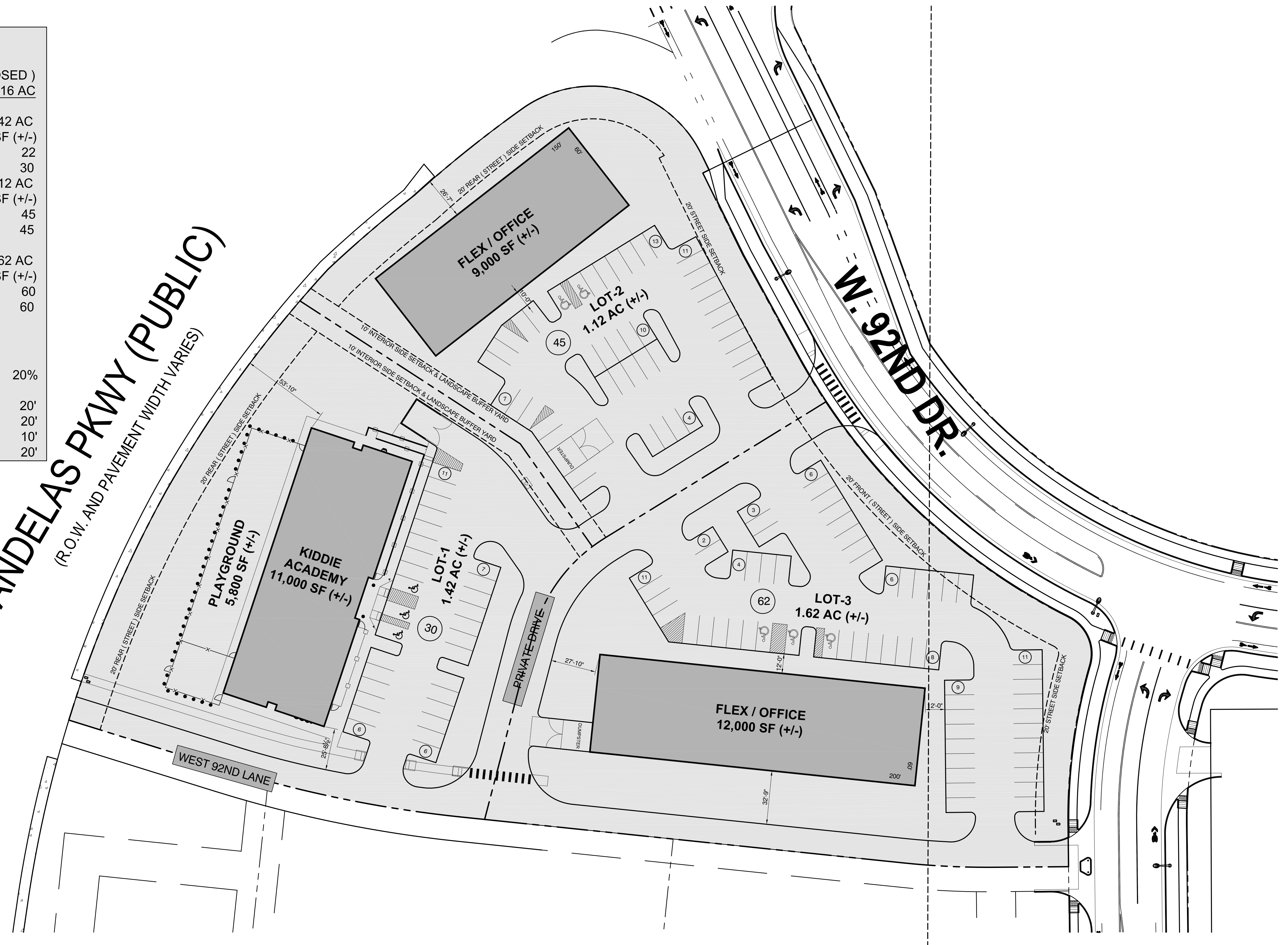
Warm regards,

Brandon Dooling
CANDELAS POINT, LLC

ZONE	CG (PROPOSED)
SITE	<u>4.16 AC</u>

LOT-2	1.12 AC
BUILDING (FLEX/OFFICE)	9,000 SF (+/-)
PARKING REQUIRED @ 5 / 1,000	45
PARKING PROVIDED	45

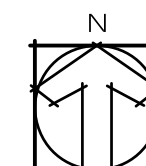
NOTE*	LANDSCAPE REQUIRED	20%
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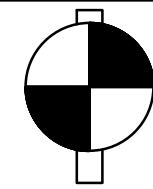
Candelas Point, LLC
8008 Raspberry Way
Frederick, CO 80504

REVISIONS

Site Plan (Re-Zone)



BENCHMARK DATA



NGS BENCHMARK DESIGNATION: BARBARA 1977

ELEVATION : 5814.88 (NAVD88)

VERTICAL DATUM

BASIS OF BEARING

CONSIDERING THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 23, TOWNSHIP 2 SOUTH, RANGE 70 WEST OF THE 6TH P.M., AS BEARING S01°16'34"E, BEING MONUMENTED AT THE NORTH BY A 2.5" PIPE, WITH A 3.25" ALUMINUM CAP, STAMPED PLS 38256, AND MONUMENTED AT THE SOUTH BY A 3.25" ALUMINUM CAP, STAMPED PLS 13155.

LEGAL DESCRIPTION

A PARCEL OF LAND LOCATED IN THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 2 SOUTH, RANGE 70 WEST OF THE 6TH P.M., MORE PARTICULARLY DESCRIBED AS FOLLOWS.

LOT 2, BLOCK 1, CANDELAS COMMERCIAL, FILING NO. 2, AMENDMENT NO.1

CONSIDERING THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 23, T2S, R70W, OF THE 6TH P.M., AS BEARING S01°16'34"E, BEING MONUMENTED AT THE NORTH BY A 2.5" PIPE, WITH A 3.25" ALUMINUM CAP, STAMPED PLS 38256, AND MONUMENTED AT THE SOUTH BY A 3.25" ALUMINUM CAP, STAMPED PLS 13155, AND WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO:

COMMENCING AT WEST QUARTER CORNER OF SECTION 23, TOWNSHIP 2 SOUTH RANGE 70 WEST OF THE 6TH P.M., THENCE SOUTH 89°20'28" WEST, 86.28 FEET, TO A POINT ON THE EAST LINE OF LOT 4, BLOCK 1, CANDELAS COMMERCIAL FILING NO. 2, RECORDED AT RECEPTION NUMBER 2018066172, AT THE JEFFERSON COUNTY, COLORADO, CLERK AND RECORDER; THENCE ALONG THE EAST LINE OF SAID LOT 4, NORTH 00°39'32" WEST, 162.89 FEET, TO THE SOUTHEAST CORNER OF LOT 1, BLOCK 1, OF SAID CANDELAS COMMERCIAL FILING NO. 2; THENCE ALONG THE SOUTHERLY LINE OF SAID LOT 1, BLOCK 1, THE FOLLOWING 3 COURSES AND DISTANCES:

1.

SOUTH 89°20'28" WEST, 43.65 FEET, TO A CURVE CONCAVE TO THE NORTH WITH A RADIUS OF 500.00 FEET, A CENTRAL ANGLE OF 6°35'13" AND A CHORD WHICH BEARS NORTH 87°21'57" WEST, 57.45 FEET;
2.

THENCE ALONG THE ARC OF SAID CURVE 57.48 FEET;
3.

THENCE NORTH 84°04'21" WEST, 241.52 FEET, TO THE POINT OF BEGINNING;

THENCE CONTINUING ALONG THE SOUTHERLY AND WESTERLY LINES OF SAID LOT 1, BLOCK 1, CANDELAS COMMERCIAL FILING NO. 2, THE FOLLOWING 5 COURSES AND DISTANCES:

1.

NORTH 84°04'21" WEST, 31.02 FEET, TO A CURVE CONCAVE TO THE NORTH WITH A RADIUS OF 750.00 FEET, A CENTRAL ANGLE OF 11°23'51" AND A CHORD WHICH BEARS NORTH 78°23'25" WEST, 148.51 FEET;
2.

THENCE ALONG THE ARC OF SAID CURVE 148.76 FEET;
3.

THENCE NORTH 72°42'30" WEST, 98.96 FEET, TO A NON-TANGENT CURVE CONCAVE TO THE SOUTHEAST WITH A RADIUS OF 741.39 FEET, A CENTRAL ANGLE OF 11°47'21" AND A CHORD WHICH BEARS NORTH 22°59'57" EAST, 152.28 FEET;
4.

THENCE ALONG THE ARC OF SAID CURVE 152.55 FEET, TO A CURVE CONCAVE TO THE SOUTHEAST WITH A RADIUS OF 745.00 FEET, A CENTRAL ANGLE OF 10°58'22" AND A CHORD WHICH BEARS NORTH 35°08'12" EAST, 142.46 FEET;
5.

THENCE ALONG THE ARC OF SAID CURVE 142.68 FEET;

THENCE SOUTH 57°01'49" EAST, 160.78 FEET;
THENCE SOUTH 35°03'00" EAST, 77.62 FEET, TO A NON-TANGENT CURVE CONCAVE TO THE SOUTHEAST WITH A RADIUS OF 100.00 FEET, A CENTRAL ANGLE OF 41°00'08" AND A CHORD WHICH BEARS SOUTH 29°04'03" WEST, 70.05 FEET;
THENCE ALONG THE ARC OF SAID CURVE 71.56 FEET;
THENCE SOUTH 08°34'02" WEST, 108.12 FEET, TO THE POINT OF BEGINNING.

CONTAINING 63,389 SQUARE FEET (1.455 ACRES), MORE OR LESS.

LAND DEDICATION

THE AREA DEDICATED BY THIS PLAT IS A PARCEL OF LAND LOCATED ON THE SE CORNER OF CANDELAS PARKWAY AND 92ND LANE. THE LAND CONSISTS OF VACANT AREA, COVERED BY NATIVE GRASSES AND WEEDS.

CITY OF ARVADA GENERAL NOTES

1.

ANY PROPOSED FENCES, WALLS, SIGNS AND ACCESSORY STRUCTURES SHOWN ON THIS PLAN ARE ILLUSTRATIVE ONLY AND SUBJECT TO SEPARATE REVIEWS AND PERMITS.
2.

FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED WITH AN APPROVED ALL-WEATHER SURFACE (CONCRETE OR ASPHALT) AND SHALL BE CAPABLE OF SUPPORTING AN IMPOSED LOAD OF 85,000 POUNDS.
3.

THE APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED DURING CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE AFPD. THE FIRE APPARATUS ACCESS ROADS SHALL CONSIST OF THE FIRST LIFT OF ASPHALT OR CONCRETE AND SHALL BE PROVIDED PRIOR TO COMMENCING VERTICAL CONSTRUCTION. ALTERNATIVE TEMPORARY FIRE APPARATUS ACCESS ROAD MATERIALS AND/OR DESIGNS SHALL BE APPROVED AND PERMITTED BY THE AFPD. THE PRIVATE ROADS THROUGH THE SITE SHALL BE DEDICATED ON THE FINAL PLAT AS 'FIRE APPARATUS ACCESS ROADS' OR OTHER SIMILAR LANGUAGE AS REQUIRED BY THE CITY OF ARVADA.
4.

A 3- 0' CLEAR SPACE SHALL BE MAINTAINED AROUND ALL FIRE HYDRANTS AND NOT OBSTRUCTED.
5.

FIRE HYDRANTS SHALL BE INSTALLED AND OPERATIONAL TO PROVIDE THE MINIMUM REQUIRED FIRE FLOW PRIOR TO COMMENCING VERTICAL CONSTRUCTION.
6.

DURING CONSTRUCTION AND UPON COMPLETION THERE SHALL BE BUILDING SIGNAGE PROVIDED, A MINIMUM OF 0- 4" INCHES HIGH WITH A 0.5" STROKE AND VISIBLE FROM THE STREET OR ROAD FRONTING THAT BUILDING.
7.

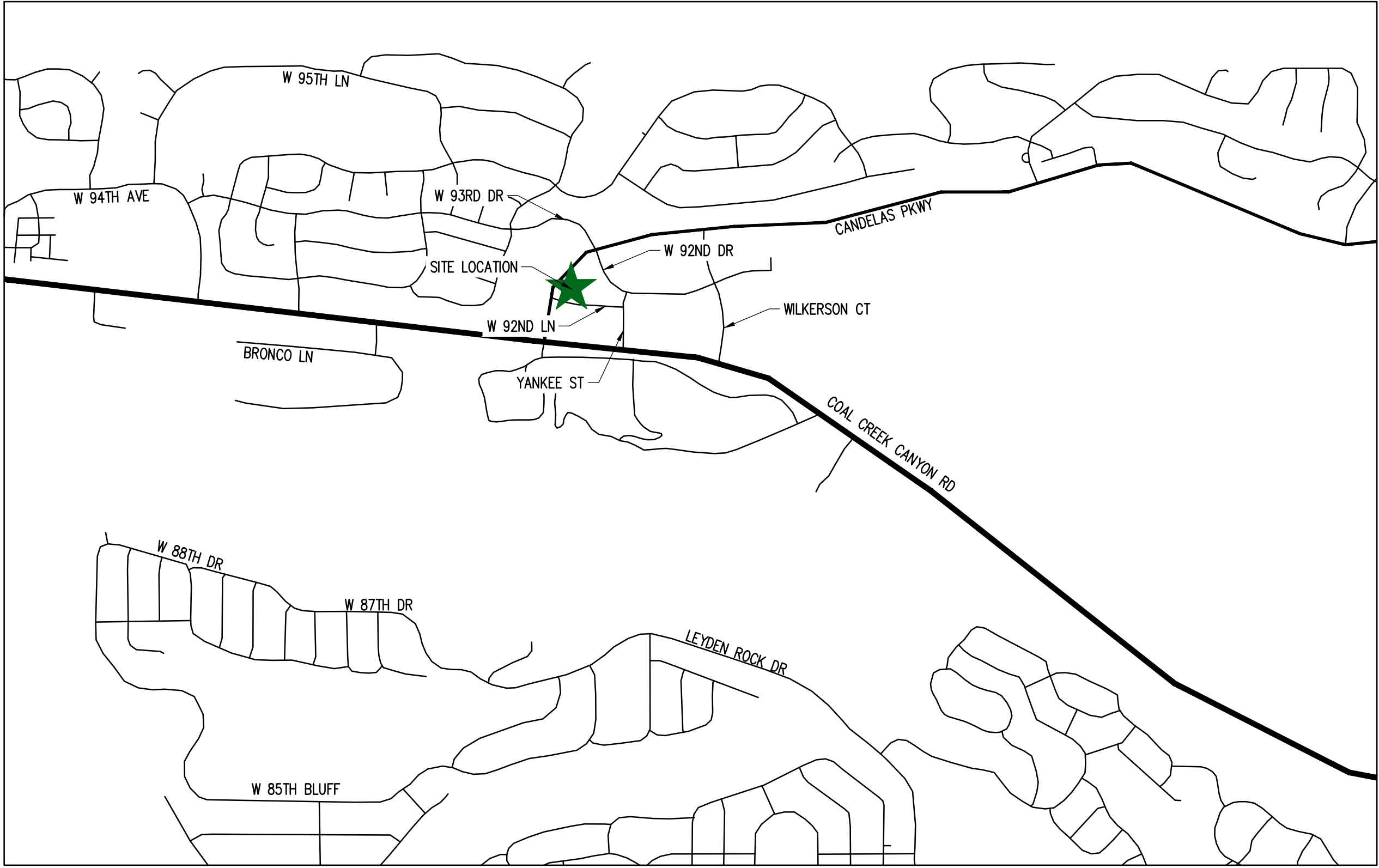
THE CITY OF ARVADA IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE SURVEY DATA SHOWN HEREIN. THE CITY OF ARVADA'S REVIEW IS FOR GENERAL COMPLIANCE WITH ARVADA'S LAND DEVELOPMENT CODE. THE CITY OF ARVADA, THROUGH THE ACCEPTANCE OF THE PLAT/SITE PLAN, ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF PLAT/SITE PLAN. THE ACCURACY OF SURVEY INFORMATION INCLUDING BOUNDARY INFORMATION, MONUMENTATION, LOT LINES, ETC IS THE SOLE RESPONSIBILITY OF THE LICENSED SURVEYOR NAMED HEREIN.

NARRATIVE SUMMARY

THE PROPOSED PROJECT SEEKS TO DEVELOP A DAYCARE/PRESCHOOL FACILITY IN THE EMPTY LOT LOCATED AT THE SOUTHEAST CORNER OF CANDELAS PKWAY AND HIGHWAY 72. THE EXISTING SITE IS A CURRENTLY UNDEVELOPED SECTION OF LAND ADJACENT TO THE CANDELAS POINT RETAIL CENTER. NO DEMOLITION IS REQUIRED AT THIS LOCATION. THE PROPOSED DEVELOPMENT FOR THIS PROJECT CONSISTS OF THE CONSTRUCTION OF THE KIDDIE ACADEMY BUILDING AND THE ACCOMPANYING PARKING LOT.

ARVADA KIDDIE ACADEMY
SITE PLAN

LOT 1, BLOCK 2, CANDELAS COMMERCIAL, FILING NO. 2, AMENDMENT NO. 1,
SECTION 22, TOWNSHIP 2 SOUTH, RANGE 70 WEST OF THE 6TH P.M.,
CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO



VICINITY MAP

1" = 1000'



SITE DATA TABLE			
SITE DEVELOPMENT INFORMATION			
ZONE DISTRICT		CG - GENERAL COMMERCIAL	
HOUSING PALETTE LOT TYPE		N/A	
TOTAL PROJECT AREA		1.455 AC	
ROW DEDICATION		N/A	
DEVELOPMENT STANDARDS		SITE	STANDARD
LOT AREA		1.455 AC	5,000 SF 0.11 AC
LOT WIDTH (MIN)		237.69 Ft	50 Ft
LOT WIDTH (CORNER)		N/A	N/A
LOT COVERAGE (MAX)		48%	35%
BUILDING AND PARKING SITING STANDARDS			
FRONT SETBACK (MIN)		109'-9 13/16"	20'-0"
FRONT PARKING SETBACK (MIN)		35'-7 13/16"	20'-0"
SIDE SETBACK, STREET (MIN)		41'-1 15/16"	20'-0"
SIDE SETBACK, INTERIOR (MIN)		63'-3 15/16"	10'-0"
REAR SETBACK		56'-2 1/2"	20'-0"
BUILDING STANDARDS			
HEIGHT (FT MAX)/STORIES		26'-0"	45'-0"
SITE STANDARDS			
LANDSCAPE SURFACE AREA (MIN)		3152 SF .07 AC	20%
IMPERMEABLE SURFACE AREA		29751 SF .683 AC	
SMALL URBAN PARK		N/A	N/A
PARKING STANDARDS			
STANDARD SPACES		27	20
ACCESSIBLE SPACES		3	2
TOTAL		30	22
BICYCLE SPACES		2	1 PER 15 VEHICLE SPACES
PROPOSED USES WITH GROSS FLOOR AREA			
DAYCARE CENTER (CHILD)		11,000 SF	N/A
BUILDING GFA		11,000 SF	N/A

DRAWING INDEX		
SHEET DESCRIPTION	SHEET TITLE	SHEET #
CV-1.0	COVER SHEET	1
C-1.0	SITE PLAN	2
PH-1.0	PHOTOMETRICS	3
LS-1.0	LANDSCAPE PLANS	4
A-1.0	BUILDING ELEVATIONS	5
A-2.0	BUILDING ELEVATIONS	6
A-3.0	SITE DETAILS	7

PROJECT CONTACTS:

OWNER
CANDELAS POINT LLC
10050 WADSWORTH BLVD
WESTMINSTER, CO 80021
(303) 772-4051
CONTACT: JEFF NADING

DEVELOPER
THINK PROPERTIES LLC
900 HOBBS ROAD, APT 223
GREENSBORO, NC 27410
(917) 509-2911
CONTACT: BRIAN HALUSAN

ARCHITECT
G3 ARCHITECTURE
7730 E BELLVIEW AVENUE, STE A-100
GREENWOOD VILLAGE, CO 80111
(720) 542-9416
CONTACT: SCOTT HIGA

CIVIL ENGINEER
RIDGETOP ENGINEERING
541 E. GARDEN DRIVE, UNIT N
WINDSOR, CO 80550
(970) 663-4552
CONTACT: MIKE BEACH, P.E.

LANDSCAPE ARCHITECT
PLANSCAPES
980 NORWAY MAPLE DRIVE
LOVELAND, CO 80538
(970) 988-5301
CONTACT: ROB MALLOY

SURVEYOR
RIDGETOP ENGINEERING
541 E. GARDEN DRIVE, UNIT N
WINDSOR, CO 80550
(970) 663-4552
CONTACT: MICHAEL LANG



541 E. Garden Drive,
Unit N
Windsor, CO 80550

T (970) 663-4552
W ridgetopeng.com

PROJECT TITLE

ARVADA KIDDIE ACADEMY

SE CORNER OF
CANDELAS PKWAY &
HWY 72

PREPARED FOR

THINK PROPERTIES
LLC.

900 HOBBS ROAD
APT 223
GREENSBORO, NC 27410

SUBMITTAL

SITE PLAN

DRAWN BY: KNW

CHECKED BY: MRB

PROJECT NO.: 22-228-001

REVISIONS

1ST SUBMITTAL

12.09.2022

RESUBMITTAL

02.04.2023

3RD SUBMITTAL

03.17.2023

DATE

12/09/2022

SHEET TITLE

COVER SHEET

SHEET INFORMATION

CV-1.0

1 of 7

Know what's below.
Call before you dig.

File: Site - ARKA11005.dwg Path: P:\Colorado\Arvada\Kiddie Academy\22-228-001 Kiddie Academy Candelas Pkwy and Hwy 72\2 Drawings\ Plotted by: Brod Date: 19-Mar-23 9:18:49am

ARVADA KIDDIE ACADEMY SITE PLAN

LOT 1, BLOCK 2, CANDELAS COMMERCIAL, FILING NO. 2, AMENDMENT NO. 1,
SECTION 22, TOWNSHIP 2 SOUTH, RANGE 70 WEST OF THE 6TH P.M.,
CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO

LEGEND

	PORTLAND CEMENT CONCRETE PAVEMENT
	ASPHALTIC CONCRETE PAVEMENT
	CONCRETE SIDEWALK
	PROPERTY LINE
	EDGE OF PAVEMENT
	CURB AND GUTTER
	SAW CUT
	CANOPY
	BUILDING
	EASEMENTS

GENERAL NOTES (CITY OF ARVADA)

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ARVADA ENGINEERING CODE OF STANDARDS AND SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF PUBLIC IMPROVEMENTS, LATEST EDITION, UNLESS OTHERWISE SPECIFIED HEREIN.
- ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE LICENSED WITH THE CITY OF ARVADA ENGINEERING DIVISION.
- ALL WORK WILL REQUIRE A CITY OF ARVADA ENGINEERING DIVISION PUBLIC IMPROVEMENT PERMIT PRIOR TO THE START OF CONSTRUCTION. ALL CONTRACTORS AND SUBCONTRACTORS MUST OBTAIN A SEPARATE PERMIT FOR THE WORK BEING COMPLETED BY THE PARTICULAR CONTRACTOR OR SUBCONTRACTOR. ANY CONSTRUCTION WITHIN THE COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) RIGHT-OF-WAY WILL REQUIRE A CDOT CONSTRUCTION PERMIT PRIOR TO ANY WORK IN THEIR RIGHT-OF-WAY.
- ALL CONTRACTORS AND SUBCONTRACTORS SHALL HAVE A SET OF APPROVED DRAWINGS SIGNED BY THE CITY ENGINEER OR DESIGNER AND A PRINTED COPY OF THE CURRENT CITY OF ARVADA ENGINEERING CODE OF STANDARDS AND SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF PUBLIC IMPROVEMENTS ON SITE AT ALL TIMES.
- THE CITY OF ARVADA ENGINEERING DIVISION SHALL BE NOTIFIED (PHONE # 720-898-7640) A MINIMUM OF 24 HOURS PRIOR TO THE START OF ANY CONSTRUCTION.
- THE ENGINEER ASSUMES NO RESPONSIBILITY FOR BURIED UTILITIES. THE CONTRACTOR IS RESPONSIBLE TO VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION AND TO PROTECT THEM DURING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL PROJECT SAFETY INCLUDING, BUT NOT LIMITED TO, TRENCH EXCAVATION AND SHORING, TRAFFIC CONTROL AND SECURITY.
- BENCHMARK LOCATION, ELEVATION AND DATUM ARE AS NOTED.
- AS-BUILT DRAWINGS SHOWING ALL CHANGES FROM THE APPROVED CONSTRUCTION DRAWINGS SHALL BE SUBMITTED TO THE CITY ENGINEER OR DESIGNER PRIOR TO INITIATION OF THE REQUIRED TWO YEAR WARRANTY PERIOD. UTILITY AS-BUILTS SHALL INCLUDE STATIONING OF ALL FITTINGS, SERVICES AND PERTINENT ELEVATIONS. CERTIFICATES OF OCCUPANCY FOR ANY BUILDINGS OR STRUCTURES WITHIN THE DEVELOPMENT WILL NOT BE ISSUED UNTIL THE AS-BUILTS HAVE BEEN RECEIVED, REVIEWED AND APPROVED BY THE CITY OF ARVADA ENGINEERING DIVISION.
- A CITY OF ARVADA TAX CERTIFICATION FORM MUST BE COMPLETED BY ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK ON THIS PROJECT. THIS FORM DETAILS ALL MATERIALS WHICH HAVE BEEN INCLUDED IN THE WORK BY CONTRACTORS AND SUBCONTRACTORS. COPIES OF ALL PAID INVOICES FOR MATERIALS SHALL BE ATTACHED TO THE FORM. CERTIFICATES OF OCCUPANCY FOR ANY BUILDINGS OR STRUCTURES WITHIN THE DEVELOPMENT WILL NOT BE ISSUED UNTIL THIS FORM HAS BEEN RECEIVED, REVIEWED AND APPROVED BY THE CITY OF ARVADA ENGINEERING DIVISION.
- OWNER/DEVELOPER SHALL OBTAIN A STORMWATER CONSTRUCTION PERMIT FROM THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY CONTROL DIVISION, PRIOR TO CLEARING, GRADING, OR EXCAVATING A SITE OF ONE (1) ACRE OR MORE OR LESS THAN ONE ACRE AND PART OF A LARGER DEVELOPMENT. A COPY OF THE APPROVED PERMIT MUST BE SUBMITTED TO THE CITY OF ARVADA ENGINEERING DIVISION PRIOR TO THE START OF CLEARING, GRADING OR EXCAVATING OF THE SITE. A COPY OF THE APPROVED PERMIT MUST ALSO BE AVAILABLE ON THE PROJECT SITE AT ALL TIMES DURING CONSTRUCTION.
- CONTRACTOR SHALL OBTAIN A COLORADO STATE CONSTRUCTION DEWATERING DISCHARGE PERMIT FROM THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT FOR ALL AREAS WHERE DEWATERING IS REQUIRED FROM AN EXCAVATION AND WATER IS DISCHARGED INTO A STORM SEWER, CHANNEL, IRRIGATION DITCH OR ANY WATERS OF THE UNITED STATES. A COPY OF THE APPROVED PERMIT MUST BE SUBMITTED TO THE CITY OF ARVADA ENGINEERING DIVISION PRIOR TO THE START OF ANY DEWATERING. A COPY OF THE APPROVED PERMIT MUST ALSO BE AVAILABLE ON THE PROJECT SITE AT ALL TIMES DURING CONSTRUCTION.
- ALL CURB RAMPS SHALL COMPLY WITH THE LATEST CITY OF ARVADA AND ADA STANDARD. CONTRACTOR TO CHECK WITH THE CITY OF ARVADA ENGINEERING DIVISION TO VERIFY THE LATEST CURB RAMP STANDARD PRIOR TO CONSTRUCTION OF ANY RAMP.
- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE CITY OF ARVADA ENGINEERING DIVISION. THE CITY RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS ENGINEERING CODE OF STANDARDS AND SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF PUBLIC IMPROVEMENTS.
- A PLAN FOR TRAFFIC CONTROL DURING CONSTRUCTION SHALL BE SUBMITTED TO THE CITY OF ARVADA ENGINEERING DIVISION FOR ACCEPTANCE WITH THE PUBLIC IMPROVEMENTS PERMIT APPLICATION. A PUBLIC IMPROVEMENTS CONSTRUCTION PERMIT WILL NOT BE ISSUED WITHOUT AN APPROVED TRAFFIC CONTROL PLAN FOR TRAFFIC CONTROL ON EXISTING ROADS DURING CONSTRUCTION.

- NOTE:
- FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED WITH AN APPROVED PAVED SURFACE (ASPHALT OR CONCRETE) AND SHALL BE CAPABLE OF SUPPORTING AN IMPOSED LOAD OF 85,000 POUNDS.
 - DURING CONSTRUCTION THERE SHALL BE SIGNAGE THAT PROVIDES THE ADDRESS AT THE FIRE DEPARTMENT ACCESS POINT, THE CHARACTERS SHALL BE A MINIMUM OF 4 INCHES HIGH WITH A 0.5 INCH STROKE AND VISIBLE FROM THE FIRE DEPARTMENT ACCESS POINT. THE COLOR OF THE SIGN SHALL EITHER BE A RED BACKGROUND WITH WHITE CHARACTERS OR WHITE BACKGROUND WITH RED CHARACTERS.
 - APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED BEFORE COMBUSTIBLE MATERIALS ARE BROUGHT TO THE SITE, AND BEFORE VERTICAL CONSTRUCTION. UNLESS OTHERWISE APPROVED, THE FIRE APPARATUS ACCESS ROAD SHALL CONSIST OF THE FIRST LIFT OF ASPHALT OR CONCRETE.

SITE DATA

SITE AREA: 1.424 AC (62,045 SF)
OWNER: CITY OF ARVADA
LAND USE CLASSIFICATION: GENERAL COMMERCIAL
ZONING CLASSIFICATION: GC - GENERAL COMMERCIAL
LOCAL JURISDICTION: ARVADA, CO
APN: 20-224-02-004
ADDRESS: SE CORNER HWY 72 AND CANDELAS PKWAY
BUILDING HEIGHT: XX' (PROPOSED) / 45' (MAX. REQ'D)
BUILDING SETBACKS: XX' ALL SIDES (MIN REQ'D) - SEE SITE PLAN FOR PROPOSED SETBACKS

BUILDING DATA

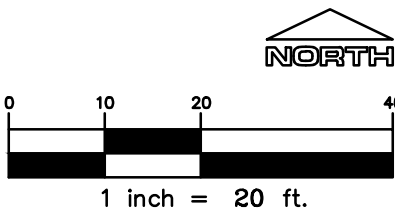
BUILDING: = 11,000 SF

PARKING DATA

USE: DAY CARE/SCHOOL
REQUIRED PARKING (PER PD): 2 SP./1,000 SF
KIDDIE ACADEMY: 2 PER 1,000 SF (11,000 SF = 22 STALLS)

	REQUIRED	PROPOSED
STANDARD SPACES	22 STALLS	27 STALLS
ACCESSIBLE SPACES	2 STALLS	3 STALLS
CHARGING STATION	0 STALLS	0 STALLS
COMPACT SPACES	0 STALLS	0 STALLS
TOTAL VEHICLE SPACES	24 STALLS	30 STALLS

STALL DIMENSIONS:
COMPACT/ELECTRIC: 9' x 18'
HANDICAP: 9' x 18'
STANDARD: 9' x 18'



LOGO

541 E. Garden Drive,
Suite N
Windsor, CO 80550

T (877) 863-4662
W. ridgeTOPeng.com

SEAL

PROJECT TITLE

ARVADA KIDDIE ACADEMY

SE CORNER OF CANDELAS PKWAY & HWY 72

PREPARED FOR

THINK PROPERTIES LLC.

900 HOBBS ROAD
APT 223
GREENSBORO, NC 27410

SUBMITTAL

SITE PLAN

DRAWN BY: KNW

CHECKED BY: MRB

PROJECT NO.: 22-228-001

REVISIONS

1ST SUBMITTAL	12.09.2022
RESUBMITTAL	02.04.2023
3RD SUBMITTAL	03.17.2023

DATE

12/09/2022

SHEET TITLE

SITE PLAN

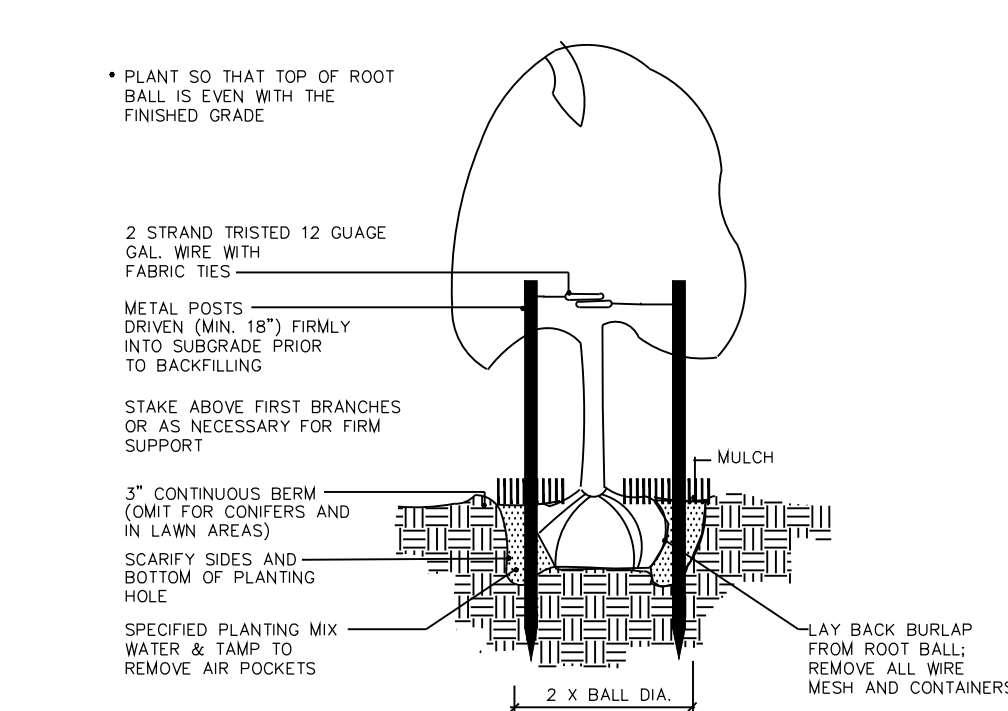
SHEET INFORMATION

C-1.0

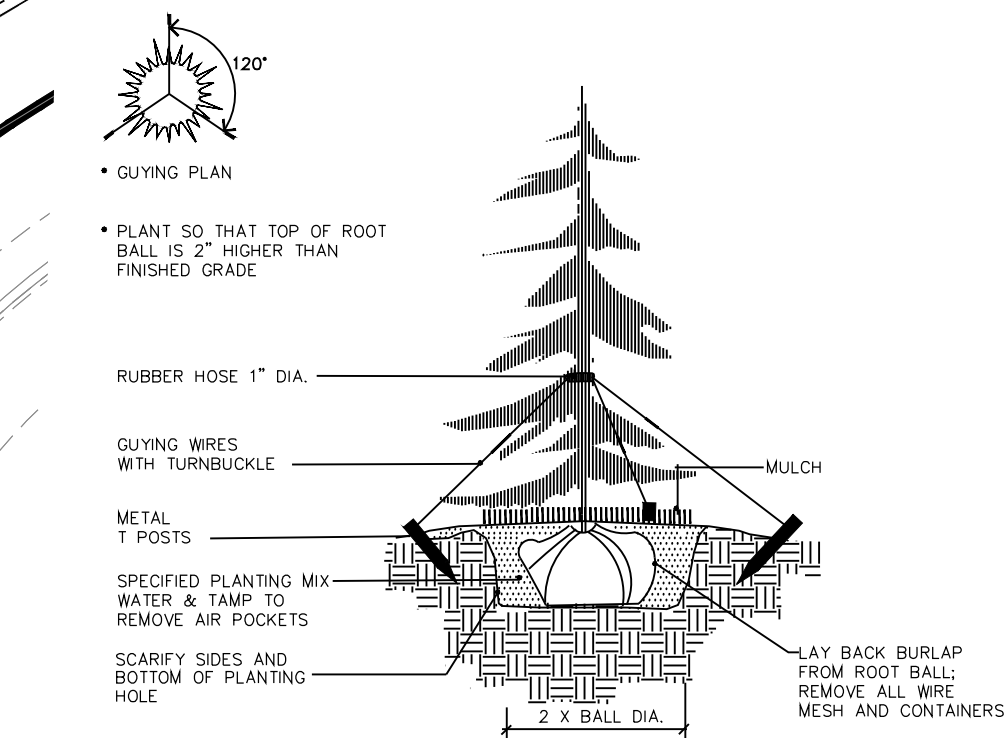
2 of 7

SECTION 22, TOWNSHIP 2 SOUTH, RANGE 70 WEST OF THE 6TH P.M.
CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO

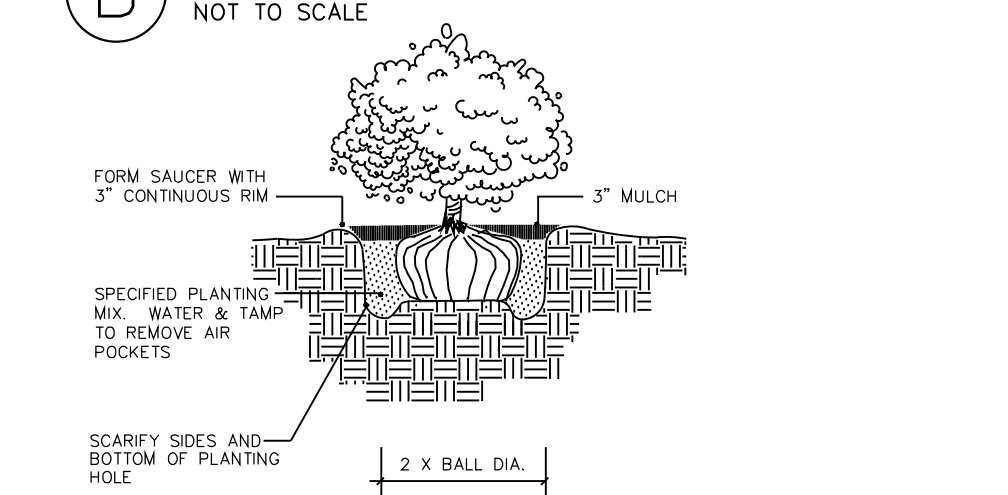
SECTION 22, TOWNSHIP 2 SOUTH, RANGE 70 WEST OF THE 6TH P.M.
CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO



A TREE PLANTING – VERTICAL STAKES



CONIFER TREE PLANTING – GUY WIRES



SHRUB PLANTING

KEY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES	ADBL	GROWTH HEIGHT	QTY.
DECIDUOUS TREES							
QM	Quercus Macrocarpa	Burr Oak	2" cal	B+B	H	40'	4
GTK	Gleditsia triacanthos inermis 'Skyline'	Skyline Honeylocust	2" cal	B+B	H	40'	3
CO	Celtis occidentalis	Western Hackberry	2" cal	B+B	H	40'	3
GD	Gymnocladus dioicis	Kentucky Coffee Tree	2" cal	B+B	H	40'	2
ORNAMENTAL TREES							
MSS	Malus 'Spring Snow'	Spring Snow Crabapple	1.5" cal	B+B	L	15'	5
PCA	Pyrus calleryana 'Autumn Blaze'	Autumn Blaze Pear	1.5" cal	B+B	L	25'	4
EVERGREEN TREES							
PPG	Picea pungens glauca	Colorado Blue Spruce	6' ht.	B+B	L	40'	2
PN	Pinus nigra	Austrian Pine	6' ht.	B&L	L	40'	2
JV	Juniperus scopulorum	Rocky Mountain Juniper	6' ht.	B&L	L	30'	3
EVERGREEN SHRUBS							
JHBC	Juniperus Horizontalis 'Blue Chip'	Blue Chip Juniper	5 gal.	5' o.c.		3'	11
JPGM	Juniperus procumbens 'Green Mound'	Green Mound Juniper	5 gal.	3' o.c.		3'	18
DECIDUOUS SHRUBS							
EAC	Euonymus alatus 'Compactus'	Dwarf Burning Bush	5 gal.	5' o.c.		6'	10
AxC	Arctostaphylos x coloradoensis	Panchito Manzanita	5 gal.	4' o.c.		6'	15
PFJ	Potentilla fruticosa 'Jackman'	Jackman Potentilla	5 gal.	3' o.c.		4'	21
CAA	Cornus alba 'Argenteomarginata'	Variiegated Dogwood	5 gal.	5' o.c.		6'	13
SV	Syringa vulgaris	Albert Holden Lilac	5 gal.	8' o.c.		6'	6
SJP	Spiraea japonica 'Little Princess'	Little Princess Spirea	5 gal.	4' o.c.		3'	6
PERENNIALS AND ORNAMENTAL GRASSES							
KA	Calamagrostis x acutiflora 'Karl Forester'	Karl Forester Grass	1 gal.	18" o.c.		5'	6
FOG	Festuca ovina glauca	Blue Fescue	1 gal.	12" o.c.		12"	17
HHR	Hemerocallis 'Happy Returns'	Dwarf Yellow Day Lily	1 gal.	18" o.c.		2"	18
MSG	Myiscanthus sinensis 'Gracilimus'	Gracilimus Grass	2 gal.	4' o.c.		4'	7

NOTE: PLANT LIST DOES NOT INCLUDE EXISTING PLANTINGS ALONG CANDELAS PKWY

1. All living plants shall be maintained in a live and healthy state. Dead or unhealthy plants shall be immediately replaced with the size and type of plants required on the site development plan.
2. Scheduled sizes stated represent minimum caliper and height. Sizes provided may exceed minimum required, but in no event shall smaller plant material sizes be
3. Plant material shall be in accordance with ANA specifications for #1 grade.
4. The developer shall ensure that the landscape plan is coordinated with the plans done by other consultants so that the proposed grading, storm drainage, or other construction does not preclude installation and maintenance of landscape elements on this plan.
5. Landscape areas, unless otherwise noted shall be irrigated with an automatic underground irrigation system.

Irrigation. include:

- a. A rain sensor with automatic shut-off of the system during periods of high moisture;
 - b. A drip, sub-surface, bubbler or low volume irrigation system for all planting strips less than 8' wide and all planting beds involving trees, shrubs, perennials and groundcover; and
 - c. An irrigation clock which allows programming to meet the differential needs of the specified planting plan.
6. No shrubs shall be planted within five feet (5') radius or trees within ten feet (10') of water meters, fire hydrants, or sanitary sewer manholes.
 7. Existing permanent landscape disturbed or damaged by construction shall be restored to its original condition, prior to final acceptance.
 8. Areas designated "turf" shall be sodded with a bluegrass blended sod, installed on a prepared soil subgrade.

9. Soil amendments (including organic matter and fertilizers) that are appropriate for the intended plant materials, design of the site and soil conditions should be selected and used. Soil should be tilled and amendments incorporated to a minimum depth of 6 inches. The following schedule specifies the minimum solid amendment requirements per 1000 square feet of landscape area:

- Bluegrass and High-Water Plantings: 3 cubic yards
- Shrubs, Perennials and Moderate to Low-Water Plantings: 3 cubic yards
- Xeric and Very Low-Water Plantings (ie. Native Mixes): 2 cubic yard or comparable treatment

10. Rock and Bark mulch shall consist of 3" of material laid over stabilized weed barrier except in detention pond area
11. The Property Owner will be responsible for the maintenance and upkeep of all landscaping on site and within the abutting rights-of-way.
13. Roll top edging shall be used between irrigated turf and mulch areas
14. Developer shall be responsible for all on-site landscaping.
15. Developer shall be responsible for providing irrigation for all landscaping.
16. No tree canopy or structures within 2' of meter pits (or 3' above)
17. Trees are to be a minimum pf 10' from all wet utilities.
18. A 3' clear space shall be maintained around all fire hydrants and no obstructed.
19. Trees within this development, when fully mature, shall provide an unobstructed verticle clearance of 13 feet 6 inches.

Site shall be landscaped prior to issuance of a final Certificate of Occupancy (CO) during the growing season of April 1st to October 1st, at all other times the individual sites shall be landscaped within 45 (forty-five) days of the start of the following growing season.

Landscape Maintenance

All plants shall be maintained continually in a healthy condition in accordance with generally accepted professional horticultural standards and practices. Plants that die or are unhealthy shall be replaced according to the approved landscape plan.

Regular pruning and trimming shall be performed to maintain health and an attractive appearance and to permit the plants to achieve their intended form and height. All landscape areas shall be kept free of weeds, litter and trash and all irrigation systems shall be properly maintained.

All landscape areas shall be irrigated with underground automatic irrigation system. Trees, shrubs, and decorative grasses will be irrigated by a separate zone from sod/grass; this includes trees planted in sod/grass area. The irrigation system is to have a rain sensor shut-off installed.

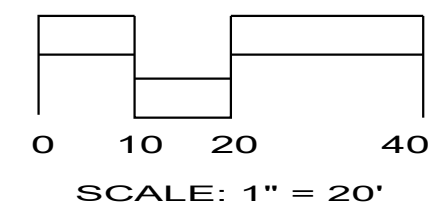
Landscaping that lies within site triangles shall not grow to be over 2'-6" in height. Trees within site triangles must be limbed up at least 8'.

Trees and landscaping within developments, when fully mature, shall provide an unobstructed vertical clearance of 13'-6" and provide the minimum unobstructed fire apparatus access road width as required based on the height of the building.

Trees shall not be planted closer than 10 feet to any sewer or water line, meters, and vaults. Tree planting shall be coordinated with Xcel Energy. Locations of all utilities shall be verified in the field prior to planting.

MINIMUM SITE LANDSCAPE CALCULATIONS (Landscape Area: 21,531 sf)		
DESCRIPTION	REQUIRED	PROVIDED
TREES 1lg or 2 sml/3,000 sq ft	7 lg or 14 sm	7 Evergreen 9 Ornamental 12 Shade (7 Existing)
SHRUBS 1/600 sq ft	36	94 Shrubs 34 Perennials
MAX. IRRIGATED TURF = 50%	10,766 sq ft max.	2,227 sf *Does not include existing turf along Cardinale Pkwy.
EVERGREEN TREES	25% - 50%	9 Evergreen/25 trees 36%
STREET TREES 40' Spacing @ 260'	6.5	6
OPEN SPACE	10% 2,153 sq ft	74% 16,106 sq ft

TYPE BASE STANDARD (PLANTS PER 40' LINEAR FEET)	REQUIRED Type A	PROVIDED
3 TREES/100 lf 293'/100'*5=	8	4 Evergreen 3 Ornamental 7 Shade (Existing)
20 SHRUBS/100 lf 293'/100'*20=	59	34 Shrubs 34 Perennials
20% EVERGREEN	2	4
MINIMUM WIDTH	20'	VARIES BETWEEN 25' - 90'



	DECIDUOUS TREES/SHADE TREES		BLUEGRASS SOD
	ORNAMENTAL TREE		NATIVE GRASS SEED
	DECIDUOUS SHRUBS		FENCE
	CONIFEROUS TREES		EDGING
	CONIFEROUS SHRUB		EXISTING LANDSCAPING
	PERENNIAL PLANT		
	3/4" - 1 1/2" RIVERROCK		EXISTING TREE

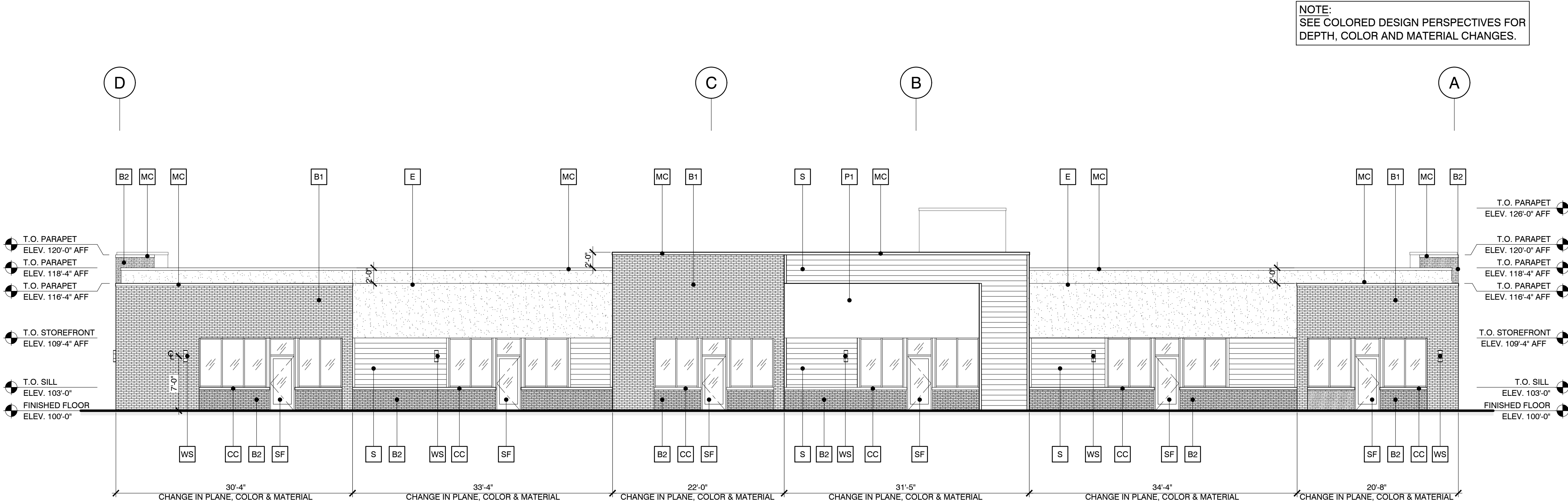
PBS1 Foothills Native Mix

Ingredients: Switchgrass, Rocky Mountain Fescue, Big Bluestem, Sandberg Bluegrass, Slender Wheatgrass, Thickspike/Streambank/Western Wheatgrass, Yellow Indiangrass, Blue Grama, Beardless Wheatgrass, Indian Ricegrass, Little Bluestem, Sand Droopseed, Sideoats Grama

Seeding Rate: 25 lbs/Acre to be used between October 15th and March 30th

Pawnee Buttes Seed, Inc.
605 25th St.
Greeley, Colorado
(970) 356-7002

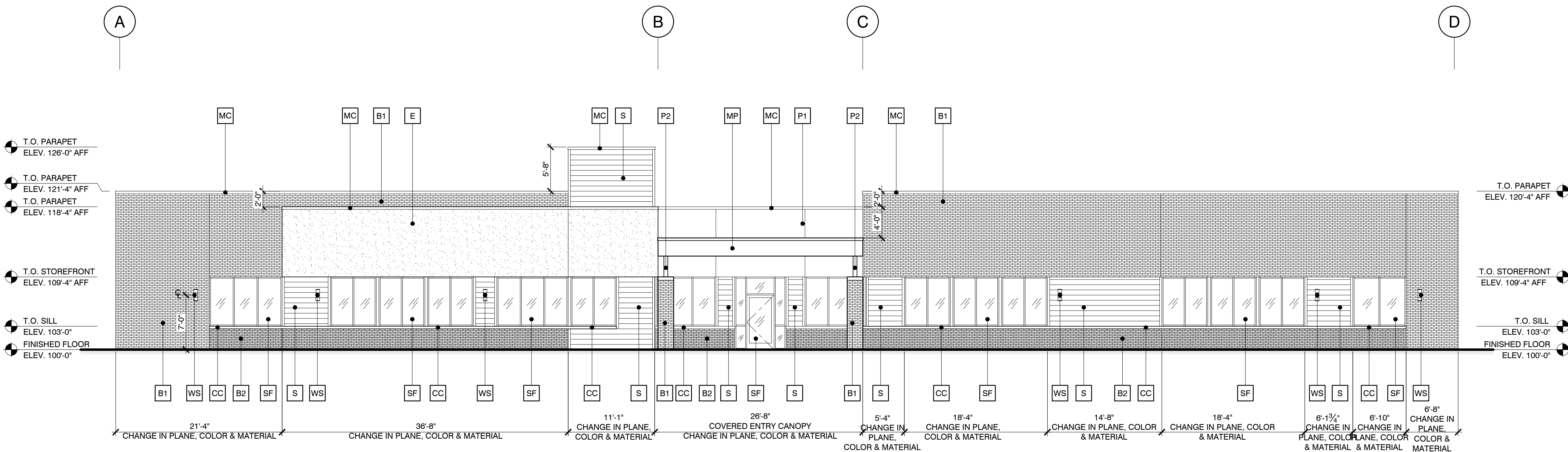




WEST ELEVATION

SCALE
1/8" = 1' - 0"

2



EAST ELEVATION

SCALE
1/8" = 1' - 0"

1

MATERIAL KEY NOTES:

	DESCRIPTION	MANUF./COLOR
B1	BRICK	INTERSTATE BRICK "PEWTER"
B2	BRICK	INTERSTATE BRICK "IRONSTONE"
CC	PRECAST CONCRETE CAP	DAVIS COLORS "LIGHT GRAY"
E	EIFS STUCCO SYSTEM SAND PEBBLE FINISH	SHERWIN-WILLIAMS "USEFUL GRAY" - SW 7050
MC	PREFINISHED METAL CAP	BERRIDGE "CITSCAPE"
P1	PAINT	TO BE DETERMINED
P2	PAINT	SHERWIN-WILLIAMS "WEB GRAY" - SW 7075
S	SIDING	WOODTONE LAP SIDING "ROASTED WALNUT"; TRIM "BARK"
SF	ALUMINUM STOREFRONT SYSTEM OR WINDOW	KAWNEER ANODIZED DARK BRONZE
WS	WALL SCONCE	VISA LIGHTING 36" "OW1335"
BL	EXTERIOR BOX LIGHT	LUMARK "LD-WP-FC-4A-120V"
MP	METAL WALL PANEL	BERRIDGE FLUSH PANEL, "CHARCOAL GRAY"

TRANSPARENCY TABLE:

ELEVATION	%
EAST	20%
WEST	20%
NORTH	6%
SOUTH	20%

ELEVATION NOTES:

- SEE COLORED DESIGN PERSPECTIVES FOR DEPTH, COLOR AND MATERIAL CHANGES.
- ROOFTOP MECHANICAL EQUIPMENT AND APPURTENANCES SHOULD ALL BE SCREENED FROM A PUBLIC STREET THROUGH THE USE OF PARAPETS OR ENCLOSURES THAT ARE EQUAL TO, OR GREATER THAN, THE HEIGHT OF THE EQUIPMENT TO BE SCREENED. THE PARAPET OR ENCLOSURE SHALL USE ONE OF THE PREDOMINANT MATERIALS OR COLORS USED ON THE PRIMARY FACADE OF THE BUILDING.
- ALL AIR CONDITIONING COMPRESSORS SHALL BE COMPLETELY SCREENED. IF A SCREENING ENCLOSURE IS USED, IT SHALL UTILIZE AT LEAST ONE OF THE PREDOMINANT MATERIALS USED ON THE FACADE OF THE PRIMARY STRUCTURE, WHERE FEASIBLE, AND ONE OF THE PREDOMINANT COLORS USED ON THE PRIMARY STRUCTURE.
- ALL ROOFTOP AND WALL VENTS AND FLUES ON A PITCHED ROOF OR EXTENDING ABOVE THE TOP OF THE NEAREST PARAPET SHALL BE PAINTED WITH ONE OF THE PREDOMINANT COLORS USED IN THE PRIMARY STRUCTURE.
- WALL-MOUNTED UTILITY EQUIPMENT AND METERS SHALL BE SCREENED FROM VIEW FROM A PUBLIC STREET AND SHALL BE PAINTED A COLOR TO BLEND WITH THE BUILDING FACADE.

LOGO

RIDGE TOP
ENGINEERING & SURVEYING
541 E. Garden Drive, Windsor, CO 80550
T (970) 683-4662
W ridgetopeng.com

SEAL

PROJECT TITLE

PREPARED FOR

SUBMITTAL

CONSTRUCTION DRAWINGS

DRAWN BY:

CHECKED BY:

PROJECT NO.:

REVISIONS

DATE

12/09/2022

SHEET TITLE

BUILDING ELEVATIONS

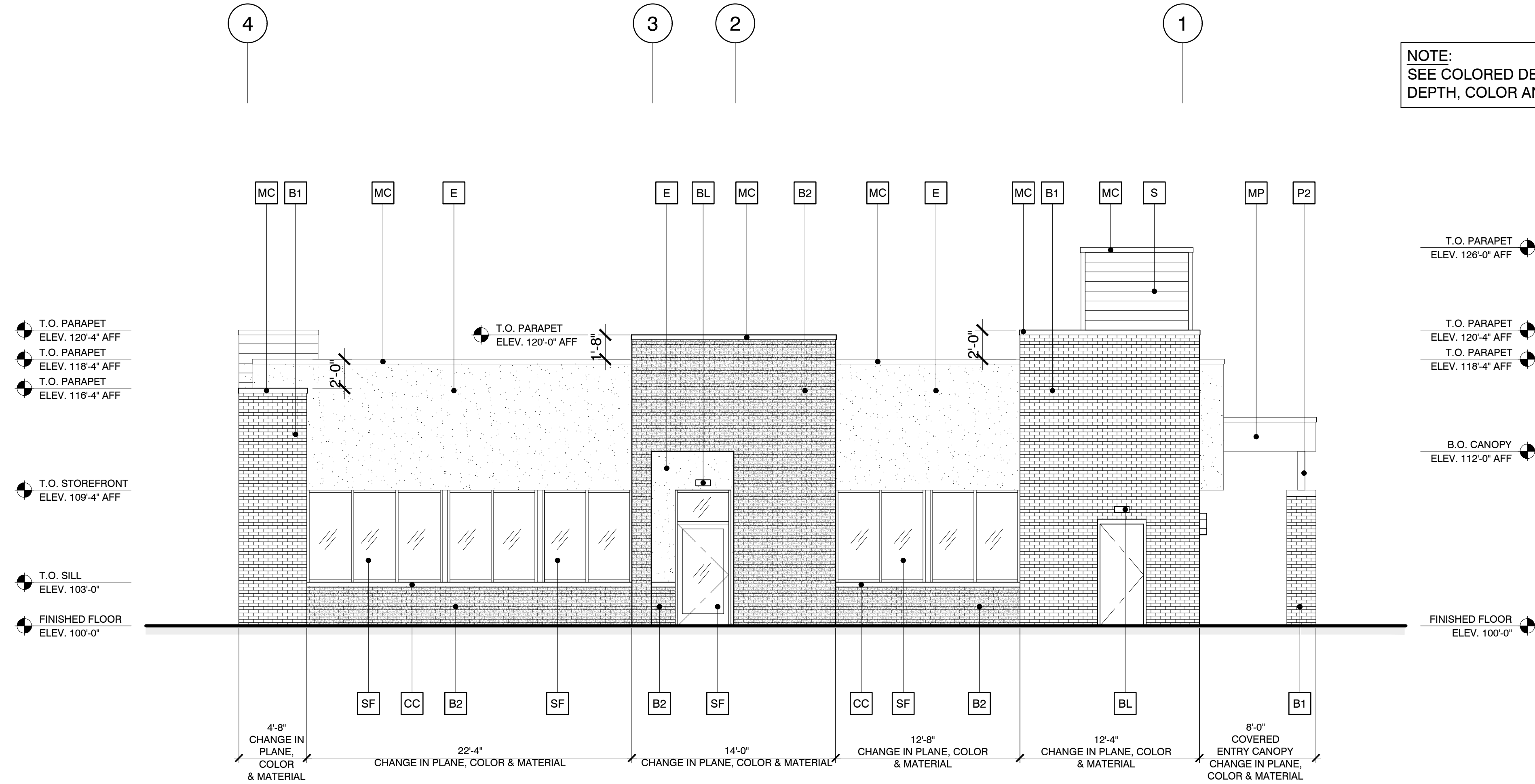
SHEET INFORMATION

A-1.0

5 of 7



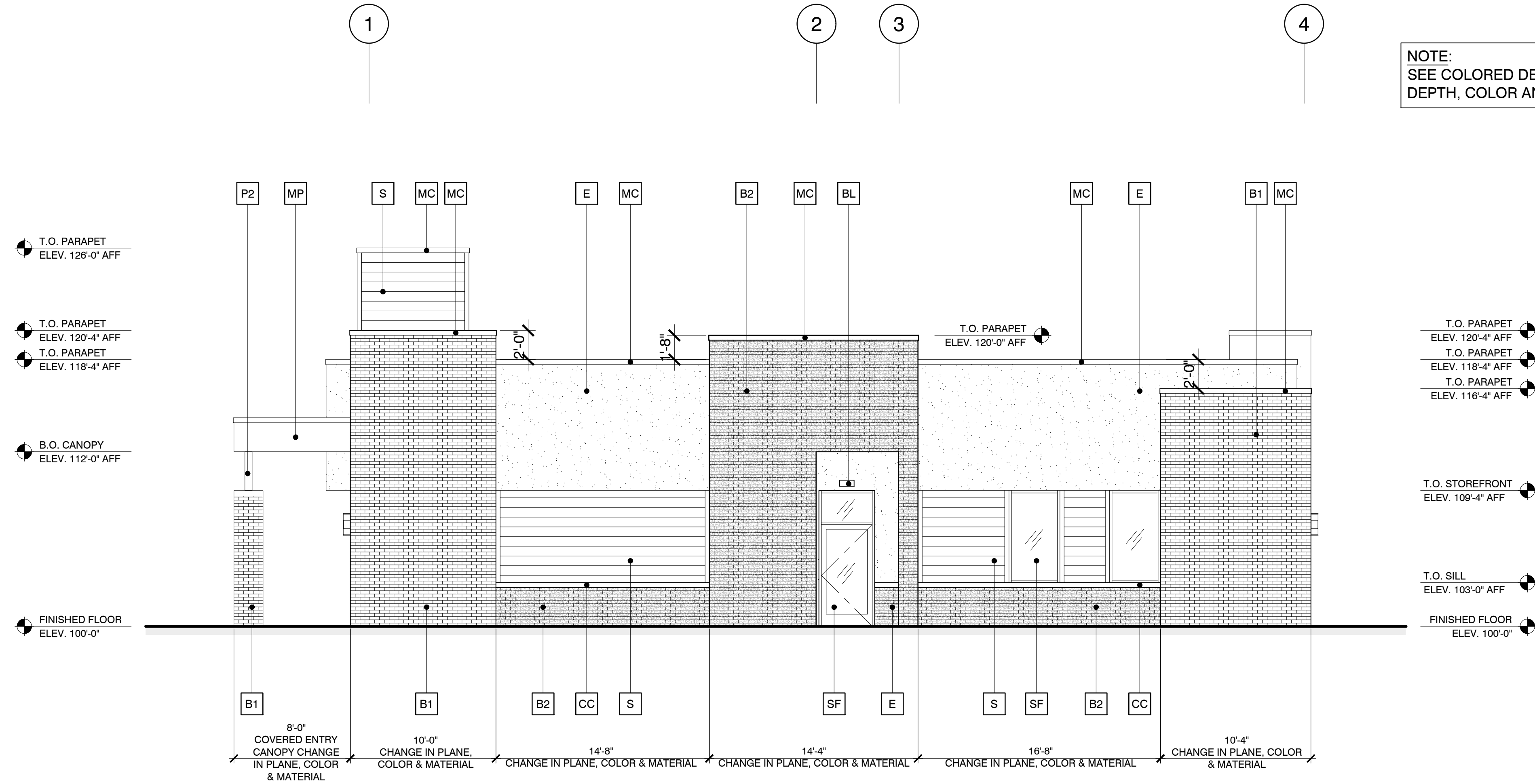
Know what's below.
Call before you dig.



SOUTH ELEVATION

SCALE
3/16" = 1' - 0"

2



NORTH ELEVATION

SCALE
3/16" = 1' - 0"

1

MATERIAL KEY NOTES:

	DESCRIPTION	MANUF./COLOR
B1	BRICK	INTERSTATE BRICK "PEWTER"
B2	BRICK	INTERSTATE BRICK "IRONSTONE"
CC	PRECAST CONCRETE CAP	DAVIS COLORS "LIGHT GRAY"
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MC	PREFINISHED METAL CAP	BERRIDGE "CITSCAPE"
P1	PAINT	TO BE DETERMINED
P2	PAINT	SHERWIN-WILLIAMS "WEB GRAY" - SW 7075
S	SIDING	WOODTONE LAP SIDING "ROASTED WALNUT"; TRIM "BARK"
SF	ALUMINUM STOREFRONT SYSTEM OR WINDOW	KAWNEER ANODIZED DARK BRONZE
WS	WALL SCONCE	VISA LIGHTING 36" "OW1335"
BL	EXTERIOR BOX LIGHT	LUMARK "LD-WP-FC-4A-120V"
MP	METAL WALL PANEL	BERRIDGE FLUSH PANEL, "CHARCOAL GRAY"

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- ALL ROOFTOP AND WALL VENTS AND FLUES ON A PITCHED ROOF OR EXTENDING ABOVE THE TOP OF THE NEAREST PARAPET SHALL BE PAINTED WITH ONE OF THE PREDOMINANT COLORS USED IN THE PRIMARY STRUCTURE.
- WALL-MOUNTED UTILITY EQUIPMENT AND METERS SHALL BE SCREENED FROM VIEW FROM A PUBLIC STREET AND SHALL BE PAINTED A COLOR TO BLEND WITH THE BUILDING FACADE.



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LOGO

541 E. Garden Drive,
Unit N
Windsor, CO 80550

T (970) 663-4562
W. ridgetopeng.com

SEAL

PROJECT TITLE

PREPARED FOR

SUBMITTAL

CONSTRUCTION DRAWINGS

DRAWN BY:

CHECKED BY:

PROJECT NO.:

REVISIONS

DATE

12/09/2022

SHEET TITLE

BUILDING ELEVATIONS

SHEET INFORMATION

A-2.0

6

Of

7

VIEW - EAST



Kiddie Academy
11,000 SF Concept
Arvada, Colorado

CONCEPT-A rev. 1
12/08/2022



VIEW - WEST



CONCEPT-A rev. 1
12/08/2022

Kiddie Academy
11,000 SF Concept
Arvada, Colorado



COUNCIL BILL NO. 23-_____
ORDINANCE NO. _____

AN ORDINANCE REZONING CERTAIN LAND WITHIN THE CITY OF ARVADA, CANDELAS POINT INFRASTRUCTURE AND KIDDIE ACADEMY, FROM CITY OF ARVADA PUD (PLANNED UNIT DEVELOPMENT) TO CITY OF ARVADA CG (COMMERCIAL, GENERAL), AND AMENDING THE OFFICIAL ZONING MAPS OF THE CITY OF ARVADA, COLORADO, 9265 YUCCA LANE.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ARVADA, COLORADO:

Section 1. The following described property is hereby rezoned from City of Arvada PUD (Planned Unit Development) to City of Arvada CG (Commercial, General):

LEGAL DESCRIPTION:

Lot 1, Block 1, Candelas Commercial Filing No. 2, more particularly described on the attached Exhibit A.

Section 2. The Official Zoning Maps of the City of Arvada are hereby amended in accordance herewith.

Section 3. This ordinance shall be effective fifteen days after publication following final passage.

INTRODUCED, READ, AND ORDERED PUBLISHED this ____ day of _____, 2023.

PASSED, ADOPTED, AND APPROVED this _____ day of _____, 2023.

Marc Williams, Mayor

ATTEST:

City Clerk

APPROVED AS TO FORM:
Rachel A. Morris, City Attorney

By: _____

Publication Dates: _____

EXHIBIT A

AN ORDINANCE REZONING CERTAIN LAND WITHIN THE CITY OF ARVADA, CANDELAS POINT INFRASTRUCTURE AND KIDDIE ACADEMY, FROM CITY OF ARVADA PUD (PLANNED UNIT DEVELOPMENT) TO CITY OF ARVADA CG (COMMERCIAL, GENERAL), AND AMENDING THE OFFICIAL ZONING MAPS OF THE CITY OF ARVADA, COLORADO, 9265 YUCCA LANE.

LAND DESCRIPTION

LAND DESCRIPTION:

A PARCEL OF LAND LOCATED IN THE SOUTH EAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 2 SOUTH, RANGE 70 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO.

CONSIDERING THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 23, TOWNSHIP 2 SOUTH, RANGE 70 WEST OF THE 6TH PRINCIPAL MERIDIAN, AS BEARING SOUTH 01°16'34" EAST, BEING MONUMENTED AT THE NORTH BY A 2.5" PIPE, WITH A 3.25" ALUMINUM CAP, STAMPED PLS 38256, AND MONUMENTED AT THE SOUTH BY A 3.25" ALUMINUM CAP, STAMPED PLS 13155, WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

COMMENCING AT THE WEST QUARTER CORNER OF SECTION 23, TOWNSHIP 2 SOUTH, RANGE 70 WEST, THENCE SOUTH 89°20'28" WEST, 86.28 FEET, TO A POINT ON THE WEST RIGHT OF WAY LINE OF YANKEE STREET, AS SHOWN ON THE FINAL PLAT OF CANDELAS COMMERCIAL FILING NO. 2, RECEPTION NUMBER 2018066172, AT THE JEFFERSON COUNTY, COLORADO, CLERK AND RECORDER, THENCE ALONG THE WEST RIGHT OF WAY LINE OF YANKEE STREET, NORTH 00°39'32" WEST, 162.89 FEET, TO THE SOUTH EAST CORNER OF LOT 1, BLOCK 1, OF SAID FINAL PLAT OF CANDELAS COMMERCIAL FILING NO. 2, SAID POINT ALSO BEING THE POINT OF BEGINNING.

THENCE ALONG THE SOUTH LINE OF THE AFOREMENTIONED LOT 1, BLOCK 1, ALSO BEING THE CENTER LINE OF A PRIVATE DRIVE, AS SHOWN ON THE FINAL PLAT OF CANDELAS COMMERCIAL FILING NO. 2, THE FOLLOWING FIVE (5) COURSES AND DISTANCES:

1. THENCE SOUTH 89°20'28" WEST, 43.65 FEET, TO A CURVE CONCAVE TO THE NORTH, WITH A RADIUS OF 500.00 FEET, A CENTRAL ANGLE OF 06°35'11" AND A CHORD WHICH BEARS NORTH 87°21'57" WEST, A DISTANCE OF 57.45 FEET;
2. THENCE ALONG THE ARC OF SAID CURVE 57.48 FEET;
3. THENCE NORTH 84°04'21" WEST, 272.54 FEET, TO A CURVE CONCAVE TO THE NORTH, WITH A RADIUS OF 750.00 FEET, A CENTRAL ANGLE OF 11°21'51" AND CHORD WHICH BEARS NORTH 78°23'25" WEST, A DISTANCE OF 148.51 FEET;
4. THENCE ALONG THE ARC OF SAID CURVE 148.76 FEET;
5. THENCE NORTH 72°42'30" WEST, 98.96 FEET, TO THE SOUTHWEST CORNER OF THE AFOREMENTIONED LOT 1,

THENCE NORTH 72°42'30" WEST, 57.08 FEET, TO A NON-TANGENT CURVE CONCAVE TO THE SOUTH EAST, WITH A RADIUS OF 800.00 FEET, A CENTRAL ANGLE OF 25°56'48" AND A CHORD WHICH BEARS NORTH 30°49'58" EAST, A DISTANCE OF 359.20 FEET, SAID POINT ALSO BEING ON THE RANGE LINE OF CANDELAS PARKWAY, AS SHOWN ON THE VAUXMONT MINOR SUBDIVISION NO. 2, RECEPTION NUMBER 2007042669, AT THE JEFFERSON COUNTY, COLORADO, CLERK AND RECORDER, THENCE ALONG THE RANGE LINE OF CANDELAS PARKWAY THE FOLLOWING TWO (2) COURSES AND DISTANCES:

1. CONTINUING ALONG THE ARC OF SAID CURVE 362.28 FEET, TO A TANGENT CURVE CONCAVE TO THE SOUTH EAST, WITH A RADIUS OF 800.00 FEET, A CENTRAL ANGLE OF 20°09'22" AND A CHORD WHICH BEARS NORTH 53°53'02" EAST, A DISTANCE OF 279.98 FEET;
2. THENCE ALONG THE ARC OF SAID CURVE 281.43 FEET, TO THE INTERSECTION OF OF THE RANGE LINE FOR CANDELAS PARKWAY AND THE RANGE LINE FOR WEST 92ND DRIVE, AS SHOWN ON THE FINAL PLAT OF CANDELAS COMMERCIAL FILING NO. 2, RECEPTION NUMBER 2018066172, AT THE JEFFERSON COUNTY, COLORADO, CLERK AND RECORDER;

THENCE ALONG THE RANGE LINE OF WEST 92ND DRIVE THE FOLLOWING TWO (2) COURSES AND DISTANCES:

1. SOUTH 26°04'41" EAST, 262.53 FEET, TO A CURVE CONCAVE TO THE NORTHEAST, WITH A RADIUS OF 350.00 FEET, A CENTRAL ANGLE OF 45°51'02" AND A CHORD WHICH BEARS SOUTH 49°00'12" EAST, A DISTANCE OF 272.67 FEET;
2. THENCE ALONG THE ARC OF SAID CURVE 280.09 FEET, TO THE INTERSECTION OF THE RANGE LINE OF WEST 92ND DRIVE AND THE RANGE LINE OF YANKEE STREET, AS SHOWN ON THE AFOREMENTIONED FINAL PLAT OF CANDELAS COMMERCIAL FILING NO. 2;

SEE NEXT PAGE FOR CONTINUATION....



541 E. Garden Drive, Unit N Windsor, CO 80550
T (970) 663-4552
W ridgetopeng.com

LAND DESCRIPTION

SE 1/4 OF NE 1/4 SEC. OF
SEC. 22, T2S, R70W, 6TH P.M.
CITY OF ARVADA, COUNTY OF
JEFFERSON, STATE OF COLORADO

Project: 22-230-001
Drawing: LEGAL01
Field Date:
Crew:
Drafted By: BSA
Date: 04/28/2023
Revised: -

Sheet:

1
3

LAND DESCRIPTION

LAND DESCRIPTION (CONTINUED):

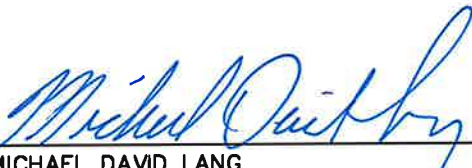
THENCE ALONG THE RANGE LINE OF YANKEE STREET THE FOLLOWING THREE (3) COURSES AND DISTANCES:

1. SOUTH 18°04'17" WEST, 44.87 FEET, TO A CURVE CONCAVE TO THE EAST, WITH A RADIUS OF 300.00 FEET, A CENTRAL ANGLE OF 18°43'45" AND A CHORD WHICH BEARS SOUTH 08°42'22" WEST, A DISTANCE OF 97.63 FEET;
2. THENCE ALONG THE ARC OF SAID CURVE 98.07 FEET;
3. THENCE SOUTH 00°39'32" EAST, 25.75 FEET, TO THE INTERSECTION OF THE RANGE LINE FOR YANKEE STREET AND THE SOUTH LINE OF LOT 1, BLOCK 1, AS SHOWN ON THE FINAL PLAT OF CANDELAS COMMERCIAL FILING NO. 2;

THENCE SOUTH 89°20'28" WEST, 36.50 FEET, TO THE POINT OF BEGINNING.

PARCEL CONTAINS 242,032 SQUARE FEET, OR 5.556 ACRES, MORE OR LESS.




MICHAEL DAVID LANG
COLORADO REGISTRATION NO. 37053
RIDGETOP ENGINEERING AND SURVEYING



541 E. Garden Drive, Unit N T (970) 663-4552
Windsor, CO 80550 W ridgetopeng.com

LAND DESCRIPTION

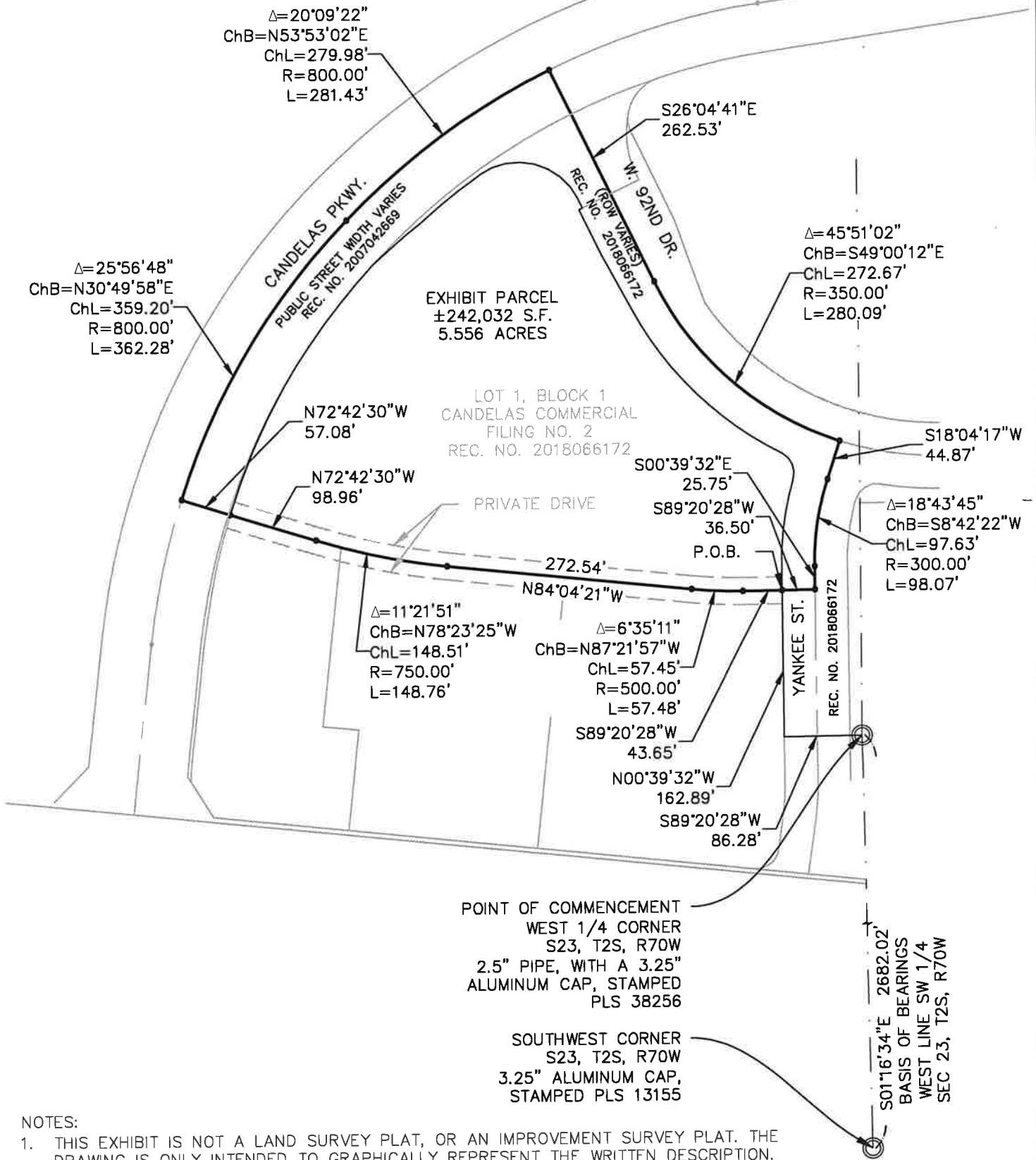
SE 1/4 OF NE 1/4 SEC. OF
SEC. 22, T2S, R70W, 6TH P.M.
CITY OF ARVADA, COUNTY OF
JEFFERSON, STATE OF COLORADO

Project: 22-230-001
Drawing: LEGAL01
Field Date:
Crew:
Drafted By: BSA
Date: 04/28/2023
Revised: -

Sheet:

2
3

DESCRIPTION EXHIBIT



NOTES:

- THIS EXHIBIT IS NOT A LAND SURVEY PLAT, OR AN IMPROVEMENT SURVEY PLAT. THE DRAWING IS ONLY INTENDED TO GRAPHICALLY REPRESENT THE WRITTEN DESCRIPTION.



541 E. Garden Drive, Unit N T (970) 663-4552
Windsor, CO 80550 W ridgetopeng.com

DESCRIPTION EXHIBIT

SE 1/4 OF NE 1/4 SEC. OF
SEC. 22, T2S, R70W, 6TH P.M.
CITY OF ARVADA, COUNTY OF
JEFFERSON, STATE OF COLORADO

Project: 22-230-001
Drawing: LEGAL01
Field Date:
Crew:
Drafted By: BSA
Date: 04/28/2023
Revised: -

Sheet:

3
3

MAPCHECK

Mapcheck 3: ZONELEGAL2NCL

Closure Summary

Precision, 1 part in: 179108.753'
 Error distance: 0.012'
 Error direction: S57° 47' 21"E
 Area: 5.556acres
 Square area: 242031.117
 Perimeter: 2069.990'

Point of Beginning

Easting: 3084047.0770'
 Northing: 1740108.7746'

Side 1: Line

Direction: S89° 20' 28"W
 Angle: [089°20'28"]
 Deflection angle: [-090°39'32"]
 Distance: 43.650'
 Easting: 3084003.4299'
 Northing: 1740108.2726'

Side 2: Curve

Curve direction: Clockwise
 Radius: 500.000'
 Arc length: 57.480'
 Delta angle: 006°35'11"
 Tangent: [28.770']
 Chord direction: N87° 21' 57"W
 Chord angle: [-176°42'25"]
 Deflection angle: [003°17'35"]
 Chord distance: [57.445']
 Easting: 3083946.0452'
 Northing: 1740110.9128'

Side 3: Line

Direction: N84° 04' 21"W
 Angle: [-179°59'59"]
 Deflection angle: [000°00'01"]
 Distance: 272.540'
 Easting: 3083674.9623'
 Northing: 1740139.0579'

Side 4: Curve

Curve direction: Clockwise
 Radius: 750.000'
 Arc length: 148.760'
 Delta angle: 011°21'51"
 Tangent: [74.623']
 Chord direction: N78° 23' 25"W
 Chord angle: [-174°19'04"]
 Deflection angle: [005°40'56"]
 Chord distance: [148.513']
 Easting: 3083529.4879'
 Northing: 1740168.9453'

Side 5: Line

Direction: N72° 42' 30"W
 Angle: [179°59'59"]
 Deflection angle: [-000°00'01"]
 Distance: 98.960'
 Easting: 3083435.0004'
 Northing: 1740198.3598'

Side 6: Line

Direction: N72° 42' 30"W
 Angle: [180°00'00"]
 Deflection angle: [000°00'00"]
 Distance: 57.080'
 Easting: 3083380.5002'
 Northing: 1740215.3260'

Side 7: Curve

Curve direction: Clockwise
 Radius: 800.000'
 Arc length: 643.710'
 Delta angle: 046°06'09"
 Tangent: [340.425']
 Chord direction: N40° 54' 39"E
 Chord angle: [-066°22'51"]
 Deflection angle: [113°37'09"]
 Chord distance: [626.487']
 Easting: 3083790.7763'
 Northing: 1740688.7808'

Side 8: Line

Direction: S26° 04' 41"E
 Angle: [-090°02'25"]
 Deflection angle: [089°57'35"]
 Distance: 262.530'
 Easting: 3083906.1833'
 Northing: 1740452.9774'

Side 9: Curve

Curve direction: Counter-clockwise
 Radius: [350.006']
 Arc length: 280.090'
 Delta angle: 045°51'02"
 Tangent: [148.030']
 Chord direction: S49° 00' 12"E
 Chord angle: [157°04'29"]
 Deflection angle: [-022°55'31"]
 Chord distance: [272.676']
 Easting: 3084111.9848'
 Northing: 1740274.0978'

Side 10: Line

Direction: S18° 04' 17"W
 Angle: [-090°00'00"]
 Deflection angle: [090°00'00"]
 Distance: 44.870'
 Easting: 3084098.0661'
 Northing: 1740231.4412'

Side 11: Curve

Curve direction: Counter-clockwise
 Radius: 300.000'
 Arc length: 98.070'
 Delta angle: 018°43'45"
 Tangent: [49.474']
 Chord direction: S08° 42' 22"W
 Chord angle: [170°38'05"]
 Deflection angle: [-009°21'55"]
 Chord distance: [97.630']
 Easting: 3084083.2883'
 Northing: 1740134.9365'

Side 12: Line

Direction: S00° 39' 32"E
 Angle: [179°59'58"]
 Deflection angle: [-000°00'02"]
 Distance: 25.750'
 Easting: 3084083.5844'
 Northing: 1740109.1882'

Side 13: Line

Direction: S89° 20' 28"W
 Angle: [-090°00'00"]
 Deflection angle: [090°00'00"]
 Distance: 36.500'
 Easting: 3084047.0868'
 Northing: 1740108.7684'



541 E. Garden Drive, Unit N T (970) 663-4552
 Windsor, CO 80550 W ridgetopeng.com

MAP CHECK

SE 1/4 OF NE 1/4 SEC. OF
 SEC. 22, T2S, R70W, 6TH P.M.
 CITY OF ARVADA, COUNTY OF
 JEFFERSON, STATE OF COLORADO

Project: 22-230-001
 Drawing: LEGAL01
 Field Date:
 Crew:
 Drafted By: BSA
 Date: 04/28/2023
 Revised: -

Sheet:

#



REPORT TO PLANNING COMMISSION

AGENDA ITEM
8.B.

TO: PLANNING COMMISSION

DATE: May 16, 2023

SUBJECT: CP2023-0005 A Resolution By The Planning Commission For The City Of Arvada, Colorado To Amend The 2014 Arvada Comprehensive Plan Land Use Designation Pertaining To Commercial, Neighborhood (CN) Zoning District.

Report in Brief

MOTION: MOVED BY: _____

That CP2023-0005, A Resolution By The Planning Commission For The City Of Arvada, Colorado To Amend The 2014 Arvada Comprehensive Plan Land Use Designation Pertaining To Commercial, Neighborhood (CN) Zoning District., be (approved and recommended to City Council for ratification)(denied).

This motion is based on the findings of fact and approval criteria on Page(s) 2 of the Staff Report.

This motion is based on the following findings of fact for denial: (Recite approval criteria you believe the evidence fails to satisfy and your reasons).

YES _____ NO _____ ABSENT _____

Prepared by:

Dixielee Rodriguez, Administrative Specialist

Reviewed by:

Approved by:

Patty McCartney, Long Range Planner

5/8/2023

Josie Suk, Development Systems and Administrative Manager

5/8/2023

Rob Smetana, Manager of City Planning and Development

5/9/2023

Emily Grogg, Senior Assistant City Attorney

5/9/2023

Ryan Stachelski, Director of Community and Economic Development

5/10/2023

Enclosure, exhibits & attachments required to support the report

SUBJECT: CP2023-0005 A Resolution By The Planning Commission For The City Of Arvada, Colorado To Amend The 2014 Arvada Comprehensive Plan Land Use Designation Pertaining To Commercial, Neighborhood (CN) Zoning District.

PAGE: 2
ITEM: 8.B.

City of Arvada Community Development Department PUBLIC HEARING STAFF REPORT

Northwest Arvada Sub-Area Plan Comprehensive Plan Amendment CP2023-0002

NATURE OF REQUEST

The City of Arvada is requesting approval of a Comprehensive Plan Amendment.

An amendment to the Comprehensive Plan (Page 2-20) is proposed to incorporate the Commercial, Neighborhood (CN) zoning district as a district permitted in the Suburban Residential land use category.

PUBLIC NOTIFICATION

Division 8-2-4 of the Land Development Code requires public notification for all public hearings as follows:

Published Notice: At least 15 days prior to all public hearings, notice of the hearing must be published in a newspaper of general circulation in the City. The required notice has been published and posted on the City website.

PROJECT ANALYSIS

As part of the 2020-2025 Strategic Plan, the City Council included a Strategic Result associated with the Community and Economic Development Department that recommends the adoption of land use option that allow for pocket neighborhoods (Strategic Result 3).

Pocket neighborhoods are defined as small-scale commercial developments that could be located within or on the edges of existing residential neighborhoods throughout the City.

The Commercial, Neighborhood (CN), zoning district is proposed to achieve this strategic result.

This amendment to the 2014 Comprehensive Plan would indicate that this zoning district would be appropriate in the Suburban Residential land use category.

LAND DEVELOPMENT CODE APPROVAL AND CRITERIA

The Planning Commission should make a recommendation to the City Council based on its findings regarding the approval criteria shown in the table(s) below and upon testimony heard during the public hearing as it applied to the criteria.

Staff performed an analysis of the proposal, pursuant to Division 8 of the Land Development Code and the approval considerations in Chapter 5 of the Comprehensive Plan, and presents the following findings:

COMPREHENSIVE PLAN AMENDMENT CONSIDERATIONS	STAFF ASSESSMENT
1. The existing Comprehensive Plan and/or any related element thereof is in need of the proposed amendment.	The Comprehensive Plan needs an amendment to incorporate the CN into the appropriate land use category.
2. The proposed amendment is compatible with the surrounding area and the goals and policies of the Comprehensive Plan.	The amendment is compatible with the goals and policies of the Comprehensive Plan and seeks to further implement existing plan goals and policies for a specific geographic area in the City.
3. The proposed amendment will have no major negative impacts on transportation, services and facilities.	The proposed amendment will have not have a major negative impact on transportation services and facilities.
4. The proposed amendment will have minimal effect on service provision, including adequacy or availability of urban facilities and services, and is compatible with existing and planned service provision.	The proposed amendment will not have a negative effect on existing or proposed service provision.
5. The proposed amendment, if for an area outside of the City's current municipal boundaries, is consistent with the City's ability to annex property.	Not applicable.
6. Strict adherence to the existing Comprehensive Plan would result in a situation neither intended nor in keeping with other key elements and policies of the plan.	Strict adherence to the existing Comprehensive Plan without this amendment would not allow for the implementation of the CN zoning district.
7. The proposed plan amendment will promote the public welfare and will be consistent with the goals and policies of the Comprehensive Plan and the elements thereof.	This amendment will promote the public welfare and is consistent with the goals and policies of the comprehensive plan.

STAFF RECOMMENDATION

Based on an analysis of the 2014 Comprehensive Plan Amendment approval considerations, staff recommends approval of the Comprehensive Plan amendment.

The Planning Commission may recommend denial of the request(s) if it cannot make affirmative findings of the approval criteria stated above.

Suburban Residential

Primary Uses: Single-family residences, duplexes, and attached residences.

Secondary Uses: Supporting and complementary uses, including open space and recreation, schools, places of assembly, and other public uses. Senior housing facilities are also appropriate if compatible with the surrounding areas.

Characteristics and Location: Suburban residential is appropriate in suburban settings. New residential developments are accessed from local or collector streets and may be away from activity centers.

Density: Up to 6 dwelling units per acre.

Relationship to Earlier Plans: This category remains generally the same from the 2008 Plan update, which replaced the “Suburban” category in the 1995 Plan.

Zoning Districts:

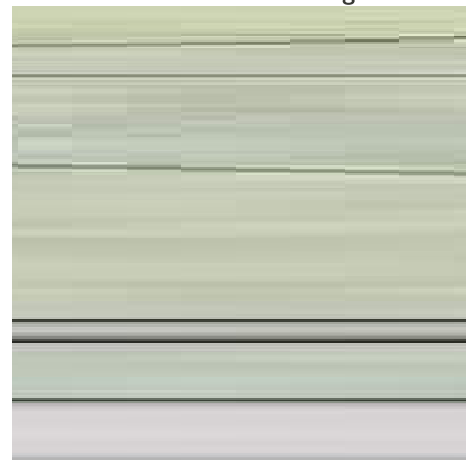
- R6 — Residential 6 District;
- RN — Residential Neighborhood District;
- CN — Commercial, Neighborhood District, subject to City Council approval; and
- Any PUD up to 6.0 dwelling units per acre — Planned Unit Development District.



Suburban Residential



West Woods Neighborhood



RESOLUTION NO. CP2023-0005

A Resolution By The Planning Commission For The City Of Arvada, Colorado To Amend The 2014 Arvada Comprehensive Plan Land Use Designation Pertaining To Commercial, Neighborhood (CN) Zoning District.

WHEREAS, Planning Commission, by Resolution No. CP2014-0003, adopted the 2014 Arvada Comprehensive Plan on September 19, 2014; and

WHEREAS, pursuant to § 8-1-2-1(E)(4) of the Land Development Code, City Council has final ratification and approval authority with respect to the Comprehensive Plan and any amendments thereto; and

WHEREAS, pursuant to Chapter 74, Article III, Section 74-64 of the code of the City of Arvada, the Planning Commission has held a public hearing as required by law, notice thereof being duly published in the Arvada Press on April 27, 2023, and said public hearing being held before the Planning Commission for the City of Arvada on May 16, 2023.

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF ARVADA, COLORADO:

Section 1. The 2014 Comprehensive Plan is hereby amended by adding the Commercial, Neighborhood (CN) to the list of Zoning Districts that are allowed within the Suburban Residential on Page 2-20.

Section 2. This Resolution shall be effective upon the ratification and approval by the City Council of the Comprehensive Plan amendment described herein.

APPROVED AND ADOPTED this 16th day of May, 2023.

CITY OF ARVADA PLANNING COMMISSION

Chairman

ATTEST:

Secretary

RATIFIED AND APPROVED this ____ of June, 2023

Marc Williams, Mayor

ATTEST:

City Clerk

APPROVED AS TO FORM:

Rachel A. Morris, City Attorney
