

City of Arvada

Planning Commission Agenda

SEPTEMBER 20, 2022
CITY COUNCIL CHAMBERS
Regular Business

Commission Members:

Michael P. Griffith, Chair
Doug Magee, Vice Chair
Tim Knapp, Secretary
Tom Aljinovich
Brandon Figliolino
Andrew Gay
Steve Hannan

Staff Members Usually Present:

Ryan Stachelski, Dir. of Community and Economic Development
Emily Grogg, Senior Assistant City Attorney
Rob Smetana, Manager of City Planning and Development
Jenny Wolfschlag, Manager of Development Engineering
Josie Suk, Systems and Administrative Manager
Abigail Ogg, Administrative Specialist
Heidi Van Gieson, Administrative Specialist

Info: 720-898-7435

The meeting will include an open comment period where participants will have three minutes to provide comments to the Commission. Members of the public who wish to provide public comment on any agenda item or during general public comment should go to www.arvada.org/PLNCOMMISSION for information about how to participate. If any member of the public wishes to submit written comment regarding the item on the agenda, you may submit comments in writing via email to the Planning Department at cedboardsandcommission@arvada.org. Comments must be received no later than 5 p.m. the day before the meeting. All timely comments submitted will be presented to the Planning Commission. Please contact Josie Suk with any questions at 720-898-7627.

PLANNING COMMISSION MEETING – 6:15 PM

1. CALL TO ORDER
2. PLEDGE OF ALLEGIANCE
3. ROLL CALL OF MEMBERS
4. APPROVAL OF MINUTES
 - A. August 2, 2022 Planning Commission Meeting Minutes
5. GENERAL BUSINESS
6. REPORTS
7. PETITIONS & COMMUNICATIONS
8. PUBLIC HEARINGS
 - A. PUD Development Plan for Tower View Townhomes Phase II PDP, generally located at 7801 W

51st Ave

9. OTHER ITEMS

10. ADJOURN



SUMMARY MINUTES OF PLANNING COMMISSION ACTION HELD
August 2, 2022,

Planning Commission meeting minutes are not an exact transcript and represent key points and the basis of discussion.

1. CALLED MEETING TO ORDER– By Michael P. Griffith at 6:16 P.M.

2. PLEDGE OF ALLEGIANCE

3. ROLL CALL OF MEMBERS

Those present: Michael P. Griffith, Tim Knapp, Brandon Figliolino, Tom Aljinovich, Doug Magee,

THOSE ABSENT

Andrew Gay, Steve Hannan

Motion to excuse Gay and Hannan approved

Those voting Yes: Griffith, Knapp, Aljinovich, Magee, Figliolino

Those voting No:

Those absent: Gay and Hannan

The motion carried: 5-0

ALSO PRESENT: Ryan Stachelski, Director of Community and Economic Development; Rob Smetana, City Planning Manager; Emily Grogg, Sr. Ass't. City Attorney; Patty McCartney, Planner, Heidi Van Gieson, Recording Secretary/ Administrative Specialist.

4. APPROVAL OF MINUTES

July 19, 2022 The minutes stand approved as printed.

5. GENERAL BUSINESS

None

6. REPORTS

None

7. PUBLIC COMMENT

There being no one wishing to speak. Public Comment was closed.

8. WORKSHOP

Sub-Area Planning Efforts Update

New Town Sub Area

Ms. McCartney presented the Overview of the New Town and Northwest Arvada Sub Area plans. New Town and Northwest Arvada Sub-Area Plans were initiated in 2020.

Community engagement efforts to guide both of these plans included 4 Open Houses, Speak-up Arvada Surveys and 3 technical and Steering Committees.

The project team then processed the feedback to determine common goals to better understand what neighbors wanted.

They heard from the community for the New Town Sub-Area that: Residential and Commercial Development were important, more Auto Oriented Commercial Use and Attainable Housing and Multifamily Housing were important.

The draft recommendations to accomplish these goals is to change from MX-t 80 ft to MX-t 65 ft on the east side of Wadsworth Bypass between W 53rd Ave to W 55th Ave.

They would like to change Arvada Marketplace from MX-t 120 ft to MX-s 120 ft or MU 120ft to assist with making it more auto oriented in its land use.

Another draft area is redeveloping the parking areas as there is too much parking currently and they would like to have better use of the land.

Views from Olde Town Travel Station are important to the community and they would like to have height restrictions in the New Town Sub-Area.

Community members stated that they would like to have better connectivity within the area.

Importance of architectural design was brought up by the community, one form of design along the Wadsworth corridor to Arvada Marketplace Development with multiple building styles including brick or stone and some modern elements.

A goal of the planning effort is to create a better link to these development areas through the use of small urban parks.

Streetscape design can enhance the pedestrian experience to improve walkability.

Mr. Griffith opened the meeting up to questions from the Committee.

Mr. Figliolino asked the difference between MX-U and MX-S?

Ms. McCartney stated that MX-U is Mixed Use- Urban that allows for a mix of residential and non-residential uses and primarily promotes the use of vertical and horizontal multi-story.

buildings with pedestrian friendly streetscapes. Mixed Use -Suburban is more residential focused with a more auto oriented use.

Mr. Figliolino asked about the removal of the pedestrian corridor but have the inner-urban trail and keep it similar to the Little Dry Creek.

Mr. Smetana stated that there will still be pedestrian access on the North Side, it will just be dropped on the South side.

Mr. Figliolino liked Option A with the more drought tolerant grasses .

Mr. Figliolino asked if there was a suggestion of either a large development or incremental developments?

Ms. McCartney said they had not received that information.

Mr. Aljinovich asked if we had taken into consideration tree growth within the view corridors? This should be mentioned somewhere that trees will grow over time.

Mr. Aljinovich asked if the city has water and sewer service for this much development?

Mr. Stachelski stated that both services are being addressed. There are some capacity issues on the North Trunk Line and certain pinch points on the Central Trunk Line that they are working on but the South Trunk Line which will service this area is in good shape.

Mr. Aljinovich asked how we are going to reduce the heat load off of the buildings. Have you thought about rooftop gardens?

Mr. Smetana stated that the LDC and the Building Code addresses these issues. Also that a lot of Developers across the nation are looking at white roofs as an option.

Mr. Aljinovich asked if we have anything about porous permeable sidewalks, which would allow water to go into the ground instead of carrying things that could contaminate our water system. Are we thinking of using recycled water (purple water/gray water)?

Mr. Stachelski stated that he does not think we have the legal right to do that. We can't recycle our water.

Mr. Aljinovich stated that if you remove the alkaline from the water, it can be used on grass and trees.

Mr. Aljinovich, do we have the capacity for emergency services with all of these people coming in?

Mr. Stachelski stated yes.

Mr. Griffith asked if we looked at any LEED or green aspects of this plan?

Ms. McCartney stated that there is a sustainability committee but she is not sure what they are working on.

Mr. Stachelski stated that the current Council is really focused on and putting more attention on sustainability.

Mr. Griffith stated that we could use a rating system to those people that are sustainability conscious.

Mr Stachelski stated that they could look at those at a higher level in say an amendment to the LDC or through the code.

Mr. Griffith stated that tree issues are important but that can be dealt with by not picking a tree that will grow over a certain height. He also stated that he liked the map depicting the buffer. He also likes the plan with the native grasses.

Mr. Stachelski stated with the Gross reservoir improvement, we will have 10,000-11,000 more units that will be added to the City of Arvada, roughly 20% more than we have now. Most of those units will be Multi family and high density products.

Mr. Griffith recommends that we have ownership of the maintenance and that is looked at.

Mr. Stachelski stated the small urban parks will be on private property but will have public access easements and will be maintained by the property owner.

Mr. Magee is surprised that the community preferred auto oriented development. Stated that he still feels we need to incorporate pedestrian friendly areas as well. Should we possibly have design guidelines for New Town like we do for Olde Town?

Mr Magee suggested the use of xeriscaping to reduce the heat element.

Mr. Knapp thanked the staff for their hard work. This is our last area to put our mark on the last bit of space we have for infill. Do we hold off and take a look at areas like Arizona, California or urban planners from other places so that it will be a shining spot of the city. He does like the idea of recycled water in the corridor for landscape purposes. He feels we should save some of the water that Mr. Stachelski said we will have.

Mr. Knapp questioned the thought of reducing parking, why would we want to reduce it? He does like the idea of residential duplex ideas.

Mr Aljinovich asked if this was going to be a Master plan.

Mr. Stachelski stated that it is a way for us to learn from the community and see what is wanted. So when we have a development project, recommending things to the planning commission.

Mr Griffith asked if we have good information about where the community members that are providing feedback live.

Ms McCartney stated that we ask for addresses if they would like to give it but most online ones provide email addresses. Most people like to remain anonymous.

Ms. McCartney also stated that they are able to get a good sense at the community engagement events where the people live, primarily in the Columbine Neighborhood and Olde Town with a few outliers that have attended.

Mr Griffith stated that we should really look at the Columbine Neighborhood as it is fairly cut-off from the rest of the city.

Northwest Sub Area

Ms. McCartney reviewed the project and stated how residents were interested in connectivity, land use specifically in regards to potential trail system, design with emphasis on placemaking, streetscape and entrance gateway for area identity.

Mr. Magee asked if this will be in phases, phase 1 and phase 2 concurrently?

Ms. McCartney stated that we are doing visioning for Phase 1 but only land use for Phase 2.

Ms. McCartney stated that the community would like to see neighborhood focused commercial and retail including more restaurants and services in the area. They were divided over whether to have more residential development or not. There was also a strong desire for more Open Space.

Ms. McCartney stated existing land use, heavy industrial and manufacturing with some single family homes. Some parts are in the city and some parts are in unincorporated Jefferson County.

Ms. McCartney stated that the community was interested in the land being used for Mixed Use, Commercial and then Light Industrial. Another group did not want the Industrial in that area for fear of losing their views.

Ms. McCartney stated that there were two recommendations for the land use: not changing the land use, the second is to change Industrial to Mixed Use.

Mr. Magee asked if anyone was involved from Jefferson County?

Ms. McCartney stated not at this time, since they are just gathering information from the community.

Mr. Aljinovich asked who was at these meetings?

Ms. McCartney stated that they invited all property owners throughout the corridor, there was a significant amount involved in the meetings.

Mr Knapp thinks that the area should be left as industrial.

Mr. Stachelski stated that there is no water or sewer to those areas so that would need to be added if they were annexed into the city. This area has been zoned Industrial for so long and there has been no interest in it.

Mr. Knapp stated that maybe it needs Open Space.

Mr. Figliolino asked if it did change to Mixed Use, and if someone wanted to do Industrial, it would just require a Major Modification?

Ms. McCartney stated that it would be a non conforming use and they would not be allowed if the use had changed.

Mr. Figliolino wanted to see if there was any way to connect Leyden to Candelas?

Ms. McCartney stated that the community wanted to enhance the non vehicular connectivity throughout the neighborhood. They would like to include those connections in future development. The priority items for a trail system would be connecting North to South and the Multi purpose trail connection to the west and to look at trail systems in the underdeveloped areas.

Ms. McCartney also stated that the community showed interest in a gathering place with a commercial development. Two locations were identified. Streetscape design was also brought up. Three landscape options were created for these streetscapes.

Mr. Knapp liked the trail system proposed.

Mr. Figliolino would love to encourage that thoughtfulness of implementing and having group gathering places.

Ms. McCartney stated that next steps will be presenting this to the City Council and doing another Speak Up Survey.

8. **OTHER ITEMS**

Mr. Smetana stated there were no items for the 8/16 or 9/6 meetings

Mr. Griffith made a motion to cancel Meetings for 8/16 and 9/6 be approved

Those voting Yes: Griffith, Knapp, Ajinovich, Magee, Figliolino

Those voting No:

Those absent: Gay and Hannan

The motion carried: 5-0

9. **ADJOURNED** at 7:42 P.M.

Michael P. Griffith, Chair

Tim Knapp, Secretary

Heidi Van Gieson, Recording Secretary



REPORT TO PLANNING COMMISSION

AGENDA ITEM
8.A.

TO: PLANNING COMMISSION

DATE: September 20, 2022

SUBJECT: PUD Development Plan for Tower View Townhomes Phase II PDP, generally located at 7801 W 51st Ave

Report in Brief

MOTION:

MOVED BY: _____

That Tower View Townhomes Phase II Preliminary Development Plan, generally located at 7801 West 51st Avenue be recommended to City Council for (approval subject to the condition stated in the Staff Report, Page 7 (denial)).

This motion is based on the findings of fact and approval criteria on Page(s) 5 & 6 of the Staff Report.

This motion is based on the following findings of fact for denial: (Recite approval criteria you believe the evidence fails to satisfy and your reasons).

YES _____ NO _____ ABSENT _____

Prepared by:

Heidi Van Gieson, Administrative Specialist

Reviewed by:

Approved by:

Jacob Nitchals, Senior Planner	9/15/2022
Josie Suk, Development Systems and Administrative Manager	9/15/2022
Robert Smetana, Manager of City Planning and Development	9/15/2022
Emily Grogg, Senior Assistant City Attorney	9/15/2022
Ryan Stachelski, Director of Community and Economic Development	9/19/2022

Enclosure, exhibits & attachments required to support the report

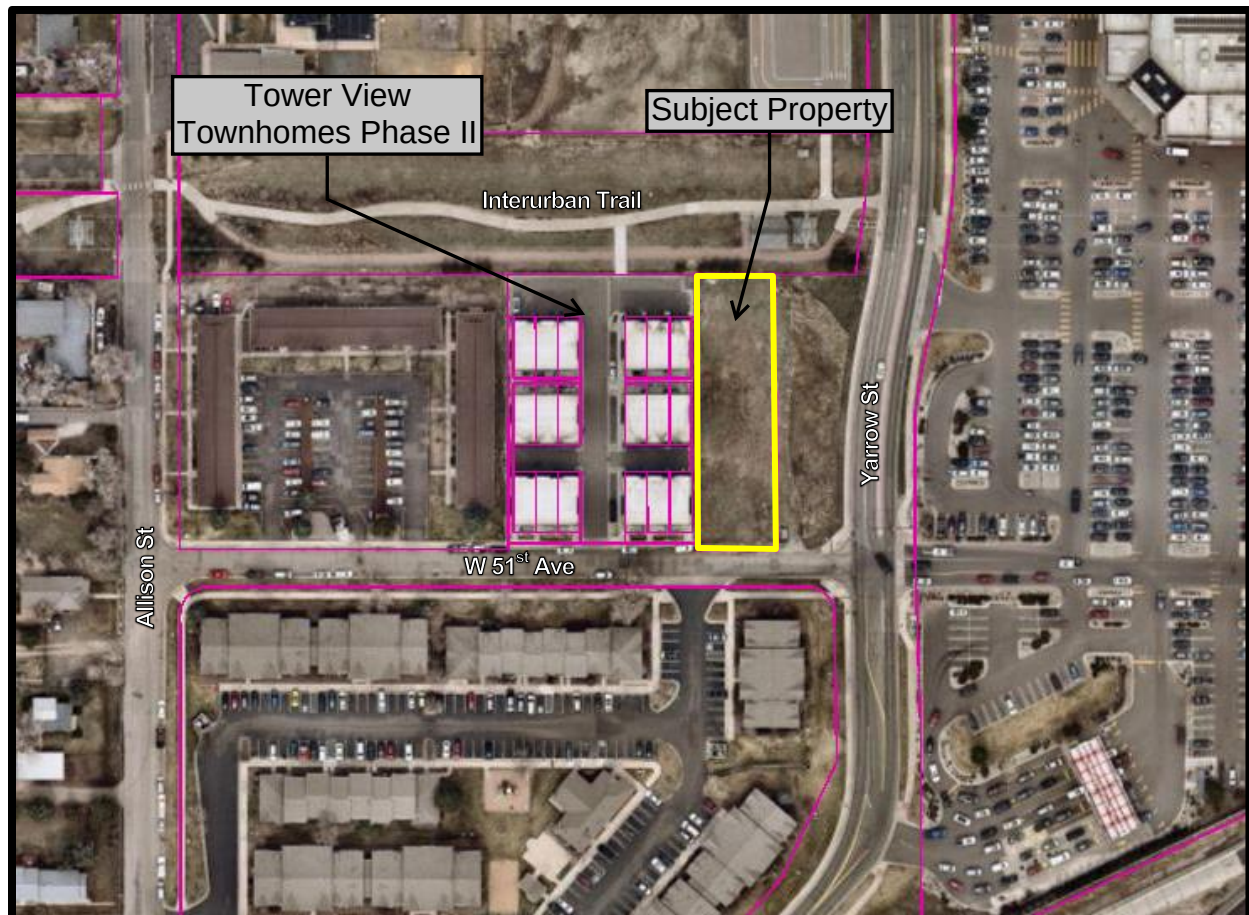
City of Arvada
Community and Economic Development Department
PUBLIC HEARING STAFF REPORT

Tower View Townhomes Phase II
PUD Development Plan
DA2020-0039

NATURE OF REQUEST

Mark DeBenedictis, on behalf of Tower View Development LLC, is requesting approval of PUD Development Plan (PDP) to construct nine townhome units in three buildings on approximately 0.45 acres. This is the second phase of the existing Tower View Townhomes development directly to the west of the subject property. The proposed three-story townhomes will be architecturally similar to the adjacent townhomes and the site layout will follow the pattern established with phase I, with vehicular access provided through the existing driveways.

AERIAL IMAGE



LOCATION AND HISTORY

The subject property is located at the northwest corner of West 51st Avenue and Yarrow Street. The property is currently addressed 7801 West 51st Avenue. The property was annexed into the City in 1971 with the larger I-70 annexation. Upon annexation, the property was zoned R-M (Residential Multifamily). The current zoning is PUD (Planned Unit Development). The property is currently vacant. The two detached single family homes that were on the property were demolished in 2017. The first phase of Tower View Townhomes was approved in November, 2016, and the last unit was completed in February, 2021.

NEIGHBORHOOD MEETING

Division 8-2-2 of the Land Development Code (LDC) requires that at least one neighborhood meeting be held for projects that require public hearings before the Planning Commission and City Council.

The required neighborhood meeting for this project took place on February 27, 2020. No members of the public attended the meeting.

PUBLIC NOTIFICATION

Division 8-2-4 of the Land Development Code requires public notification for all public hearings as follows:

Written Notice: At least 15 days prior to all public hearings, written notice must be mailed to all property owners within 500 feet of the subject property and to all homeowners associations and neighborhood associations with a known interest in the subject property. The applicant will provide an affidavit of mailing verifying this requirement has been met prior to the public hearing.

Posted Notice: At least 15 days prior to all public hearings, signs notifying the public of the hearing must be posted on the subject property. The applicant will provide a posting log verifying that this requirement has been met prior to the public hearing.

Published Notice: At least 15 days prior to all public hearings, notice of the hearing must be published in a newspaper of general circulation in the City. The required notice has been published.

SEVERED MINERAL RIGHTS

At least 30 days prior to the public hearing, written notice of the application must be mailed to any owner of mineral rights associated with the subject property. The applicant has provided the required Certification of Notice pursuant to Colorado Revised Statute 24-65.5-103.

ALIGNMENT WITH CITY COUNCIL STRATEGIC PLAN

This project aligns with the Community and Economic Development Strategic Goal.

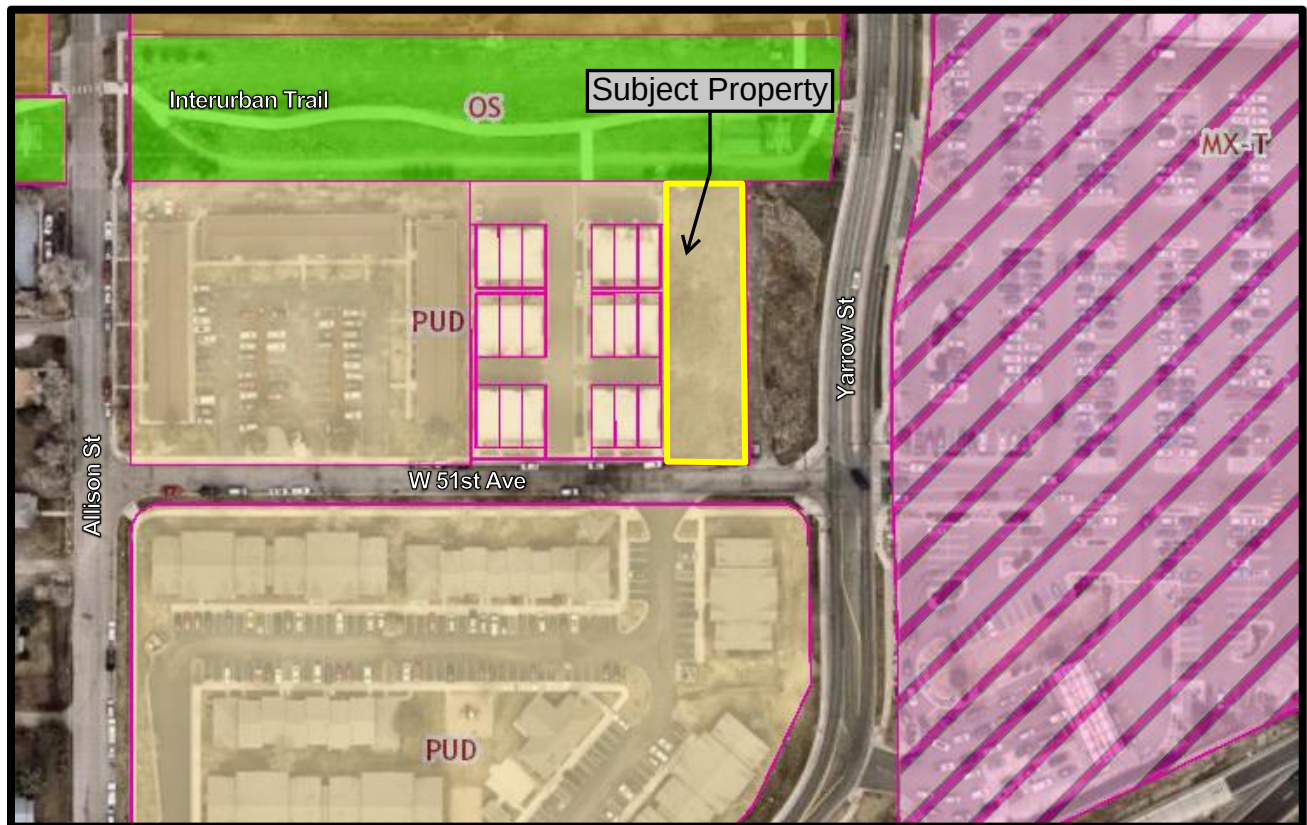
ZONING AND LAND USE

The subject property is currently zoned PUD and is approximately 0.45 acres in size.

Surrounding properties are zoned and utilized as follows:

Direction	Zoning	Actual Use
North	Open Space (OS)	Electrical Transmission Lines & Interurban Trail
South (across W 51 st Ave.)	PUD	Multifamily (Allison Point Apartments)
East (across Yarrow St.)	MX-T (Mixed – Use Transit)	Retail (Costco)
West	PUD	Single-Family Attached (Tower View Townhomes phase I)

ZONING MAP



PROJECT ANALYSIS

Compliance with the Comprehensive Plan

The Comprehensive Plan Future Land Use map designates the property as High Density Residential. Primary Uses include: multifamily residential apartments and condominiums, and similar higher-density residential land uses. The High Density Residential future land use classification allows up to 24 dwelling units per acre. The proposed density of 20 dwelling units per acre is consistent with the Comprehensive Plan Future Land Use map.

Setbacks

The building is setback approximately 18 feet off the front property line, with a front entryway patio that extends approximately 7.5 feet into the front setback. This is consistent with the front setback of the townhomes that were built in the first phase. The west side setback is 15 feet, the east side setback is five feet and the rear setback is 37 feet.

Building Height

The building height is 34.5 feet in height which is consistent with the buildings in phase I which were approved at 35 feet.

Landscaping, Buffering and Fencing

Approximately 29 percent of the property is reserved for landscaping; this exceeds phase I which included approximately 22 percent landscaping. Given the adjacent land uses, a bufferyard is not required. The applicant is not proposing any fencing with the PUD. Any future fencing will need to comply with the fencing standards in place at the time of permit.

Parks

The project will connect to the Interurban Trail directly north of the property through the existing walkway that was constructed with phase I

Building Design

The townhomes will incorporate a contemporary design, integrating a brick veneer on the ground floor of the front façade and stucco and hardyboard panels on the upper floors. A wainscoting course of brick veneer is carried around the sides of the townhomes, with stucco and hardyboard panels above the brick. The rear façade is comprised of stucco and hardyboard panels. The building form is the same as the buildings in phase I; however, there were changes to the building façade materials. Phase II eliminates the use of lap siding in favor of stucco and uses brick veneer on the front and side elevations rather than stone veneer. Phase II also incorporates more windows on the side elevations which will add to the visual interest from Yarrow St. Each unit will have elevated patios on the second and third floors along with ground level entryway patios.

Circulation and Connectivity

Vehicular access will be from the existing shared driveway off W 51st Ave. that serves phase I. The two driveways serving the eastern buildings of phase I will be extended to the east to provide access to the garages in phase II. The developer will be responsible for constructing all W 51st Ave. improvements adjacent to their development and extend the curb, gutter, and sidewalk off-site to the existing curb, gutter, and sidewalk at the intersection of W 51st Ave. and Yarrow Street.

Pedestrian access for the southern building is directly to the W 51st Ave. sidewalk that the developer will build with. A five-foot wide walkway located along the western edge of the property provides a direct pedestrian connection between the northern two buildings and the W 51st Ave. sidewalk.

Drainage and Grading

The majority of the stormwater runoff will be conveyed to an underground detention system that connects to the existing underground detention system in phase I. The remaining drainage will be conveyed to the stormwater inlets in W 51st Ave., one of which the developer will install with the development. The site is relatively flat and will only require minimal grading to convey stormwater to the detention system or W 51st Ave.

Parking

Townhomes are required to provide 2.2 spaces per unit, resulting in 20 total required off-street parking spaces. Each unit has a two-car garage and there are 4 guest parking spaces, resulting in 22 off-street parking spaces.

Utility Services

Sanitary sewer service will be provided by the Clear Creek Water and Sanitation District and there is sufficient capacity to serve the development. Water will be provided by the City and there is sufficient capacity to serve the development.

Police and Fire Protection

Police and fire protection will be provided by Arvada Police and Arvada Fire Protection District.

School District

Fees-in-lieu of park land dedication will be required if the project moves forward.

LAND DEVELOPMENT CODE APPROVAL CRITERIA

It is the responsibility of the applicant to justify the requested land use application. The Planning Commission should make a recommendation to the City Council based on its findings regarding the approval criteria shown in the table(s) below and upon testimony heard during the public hearing as it applied to the criteria.

Staff performed an analysis of the proposal, based on the approval criteria listed in Chapter 8 of the Land Development Code, and presents the following findings:

Div. 8-3-10 PUD Development Plan Approval Criteria	Finding	Rationale
1. The plan is consistent with the Comprehensive Plan or reflects conditions that have changed since the adoption of the Comprehensive Plan	Complies	As described in the staff report, the proposed development is consistent with the High Density Residential Future Land Use map designation
2. The plan is consistent with and implements and previously approved Outline Development Plan in effect for the subject property, per Section 8-3-10-7, PUDs Approved Prior to Effective Date.	Complies	This property does not fall within the boundary of an existing Outline Development Plan.

3. The plan represents a development that will address a unique situation, confer a substantial benefit to the City, or incorporate creative site design such that it achieves the purposes set out in Section 8-3-10-1, Purpose of Planned Development Zone, and represents an improvement in quality over what could have been accomplished through application of the otherwise applicable zoning district or development standards.	Complies	The plan addresses a unique situation in that it carries out the development pattern of a previously approved Planned Unit Development that could not be constructed through an existing zone district.
4. The plan generally complies with the intent of the use, development, and design standards set forth in the LDC.	Complies	The proposed townhomes are in compliance with the land use standards of the LDC. The townhomes generally comply with the development standards for the Townhome Palette, with some minor deviations in building separation standards, and the design of the townhomes generally complies with the applicable standards in the LDC.
5. To the extent reasonably feasible, the plan provides for integration and connection with adjoining development through street connections, sidewalks, trails, and similar features; unless due to the nature of the uses that are allowable in the plan such connections are not desirable.	Complies	As described in detail above, the proposed development integrates with phase I in terms of both pedestrian and vehicular connectivity.
6. Sufficient public safety, transportation, and utility facilities and services will, prior to development, be available to serve the subject property, while maintaining sufficient levels of service to existing development.	Complies	There is sufficient public safety, transportation, and utility facilities to serve the project and sufficient levels of service will be maintained to serve existing development in the area.
7. The proposed uses (or group of uses) are appropriately located and designed, both within the boundaries of the plan and in relation to adjacent uses, such that the foreseeable, material adverse impacts that may be created by the scale, design, and operating characteristics (e.g., hours of operation, traffic generation, lighting, noise, odor, dust, and other external impacts) of the uses are avoided or mitigated.	Complies	The proposed residential land use is appropriately located at the edge of a residential district. While the site is adjacent to a large residential retail land use, Yarrow Street will serve as a buffer by providing separation from the retail land use.
8. If the application for plan approval is accompanied by an application for rezoning to the PUD zoning district, the rezoning application is concurrently approved.	Complies	This is not applicable; therefore, the proposed development complies given that there is not a request for a rezoning.

STAFF RECOMMENDATION

Based upon project analysis and review of the Land Development Code approval criteria, staff recommends approval of the project.

If the Planning Commission finds that a recommendation to approve the PUD Development Plan is supported by the approval criteria, then staff recommends that the following condition be made part of the approval:

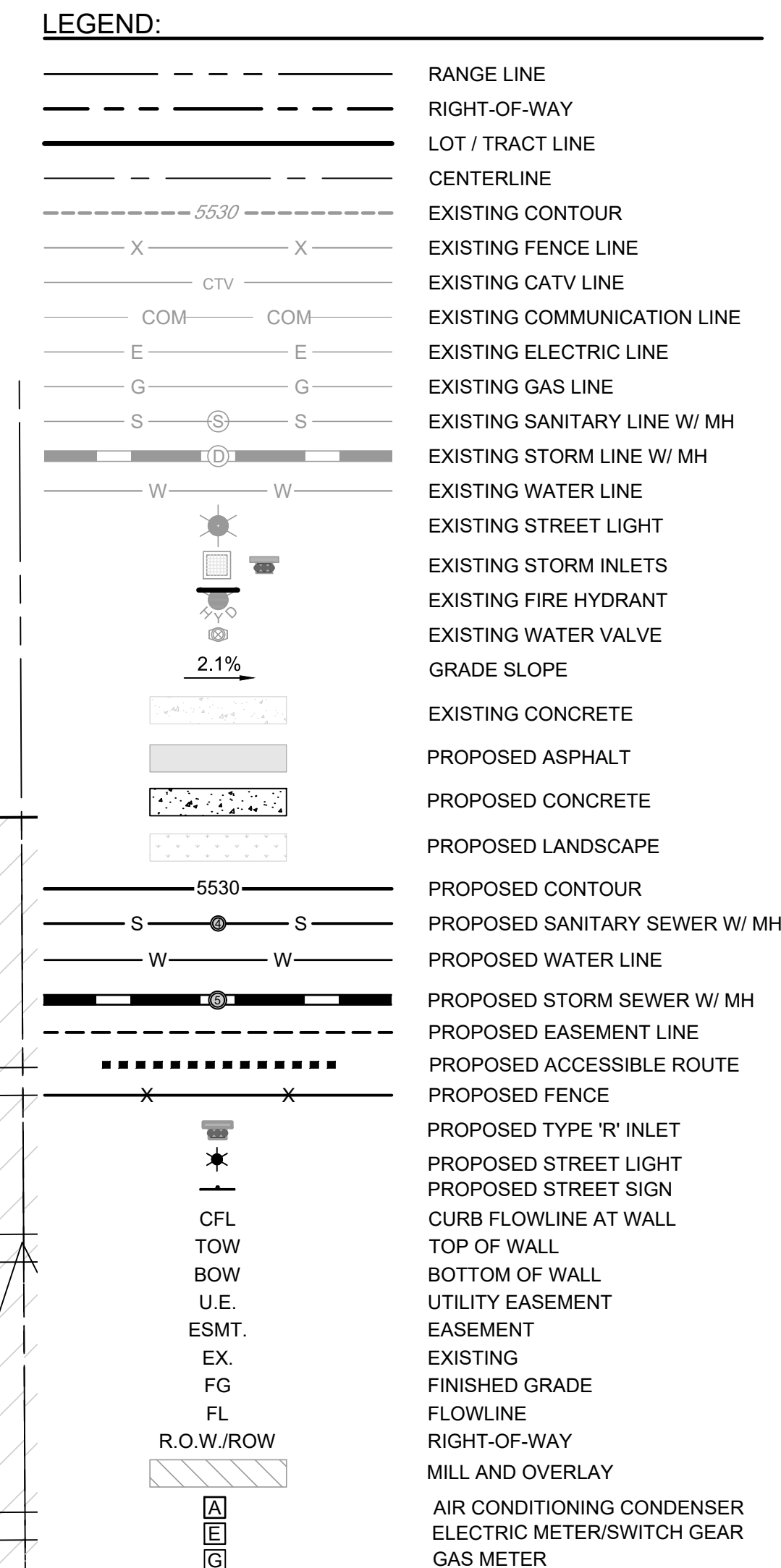
1. The PUD Final Development Plan shall comply with the staff's minor comments from the fourth review of the PDP.

The Planning Commission may recommend denial of the request(s) if it cannot make affirmative findings of the approval criteria stated above.

**TOWER VIEW TOWNHOMES II, SITUATED IN THE SOUTH-WEST QUARTER OF SECTION 14, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE 6TH
P.M., CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO**

[illegible]

TOWER VIEW TOWNHOMES II, SITUATED IN THE SOUTH-WEST QUARTER OF SECTION 14, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE 6TH P.M., CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO

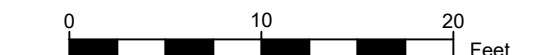


- NOTES:**
1. MAX 4:1 SLOPES IN AREAS TO BE MOWED OR
 2. MAINTAINED
 3. ALL RAMPS ARE TO MEET ADA STANDARDS

ACTION CIVIL ENGINEERING 9777 PYRAMID CT, SUITE 150 ENGLEWOOD, CO 80112 720.826.3965 tdenning@actioncivileng.com		TOWER VIEW TOWNHOMES II PUD DEVELOPMENT PLAN			
JOB NO.		1801			
SCALE		AS SHOWN			
DATE		6/19/2022			
SHEETS		09		SHEET	
				03	

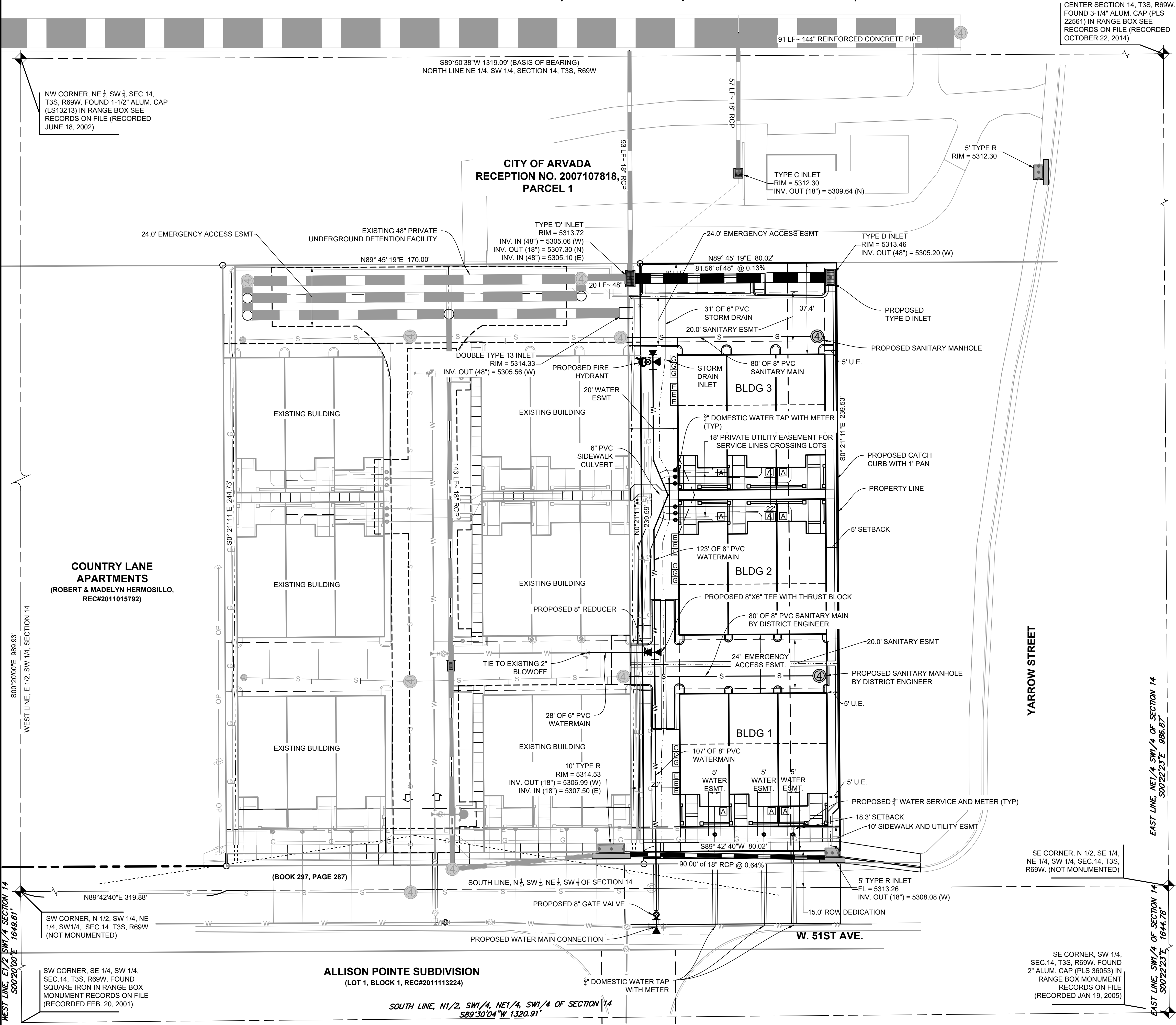


Know what's **below**.
Call before you dig.



TOWER VIEW TOWNHOMES II - PUD DEVELOPMENT PLAN

TOWER VIEW TOWNHOMES II, SITUATED IN THE SOUTH-WEST QUARTER OF SECTION 14, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE 6TH P.M., CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO



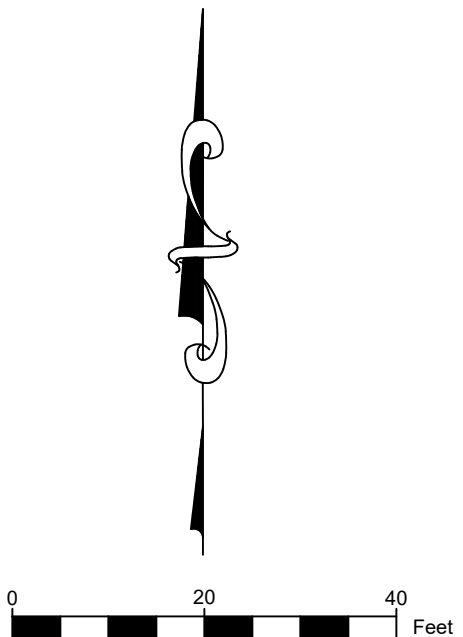
LEGEND:

[Symbol]	RANGE LINE
[Symbol]	RIGHT-OF-WAY
[Symbol]	LOT / TRACT LINE
[Symbol]	CENTERLINE
[Symbol]	EXISTING CONTOUR
[Symbol]	EXISTING FENCE LINE
[Symbol]	EXISTING CATV LINE
[Symbol]	EXISTING COMMUNICATION LINE
[Symbol]	EXISTING ELECTRIC LINE
[Symbol]	EXISTING GAS LINE
[Symbol]	EXISTING SANITARY LINE W/ MH
[Symbol]	EXISTING STORM LINE W/ MH
[Symbol]	EXISTING WATER LINE
[Symbol]	EXISTING STREET LIGHT
[Symbol]	EXISTING STORM INLETS
[Symbol]	EXISTING FIRE HYDRANT
[Symbol]	EXISTING WATER VALVE
[Symbol]	GRADE SLOPE
[Symbol]	EXISTING CONCRETE
[Symbol]	PROPOSED ASPHALT
[Symbol]	PROPOSED CONCRETE
[Symbol]	PROPOSED LANDSCAPE
[Symbol]	PROPOSED CONTOUR
[Symbol]	PROPOSED SANITARY SEWER W/ MH
[Symbol]	PROPOSED WATER LINE
[Symbol]	PROPOSED STORM SEWER W/ MH
[Symbol]	PROPOSED EASEMENT LINE
[Symbol]	PROPOSED ACCESSIBLE ROUTE
[Symbol]	PROPOSED FENCE
[Symbol]	PROPOSED TYPE 'R' INLET
[Symbol]	PROPOSED STREET LIGHT
[Symbol]	PROPOSED STREET SIGN
[Symbol]	CURB FLOWLINE AT WALL
[Symbol]	TOP OF WALL
[Symbol]	BOTTOM OF WALL
[Symbol]	UTILITY EASEMENT
[Symbol]	EASEMENT
[Symbol]	EXISTING
[Symbol]	FINISHED GRADE
[Symbol]	FLOWLINE
[Symbol]	RIGHT-OF-WAY
[Symbol]	MILL AND OVERLAY
[Symbol]	AIR CONDITIONING CONDENSER
[Symbol]	ELECTRIC METER/SWITCH GEAR
[Symbol]	GAS METER

NOTE:
1. THE MINIMUM REQUIRED FIRE-FLOW IS 1,500 GALLONS-PER-MINUTE
2. BUILDINGS 2 AND 3 WILL BE SPRINKLERED



Know what's below.
Call before you dig.



ACTION CIVIL ENGINEERING 9777 PYRAMID CT, SUITE 150 ENGLEWOOD, CO 80112 720.826.3965 tdenning@actioncivileng.com		JOB NO. 1801		SCALE ---		DATE 6/19/2022		SHEETS 09		SHEET 04		TOWER VIEW TOWNHOMES II PUD DEVELOPMENT PLAN		UTILITY PLAN		DSG		TWD		CHK		DRN		#		DATE		REVISION DESCRIPTION											

TOWER VIEW TOWNHOMES II, SITUATED IN THE SOUTH-WEST QUARTER OF SECTION 14, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE 6TH P.M., CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO

S89°50'38"W 1319.09' (BASIS OF BEARING)
NORTH LINE NE 1/4, SW 1/4, SECTION 14, T3S, R69W

CENTER SECTION 14, T3S, R69W.
FOUND 3-1/4" ALUM. CAP (PLS
22561) IN RANGE BOX SEE
RECORDS ON FILE (RECORDED
OCTOBER 22, 2014).



Know what's **below**.
Call before you dig.

**CITY OF ARVADA
RECEPTION NO. 2007107818,
PARCEL 1**

EXISTING GRAVEL PATH

DOT ROW

NOTE:

1. THE MINIMUM REQUIRED FIRE-FLOW IS 1,500 GALLONS-PER-MINUTE
2. BUILDINGS 2 AND 3 WILL BE SPRINKLERED

YARROW STREET

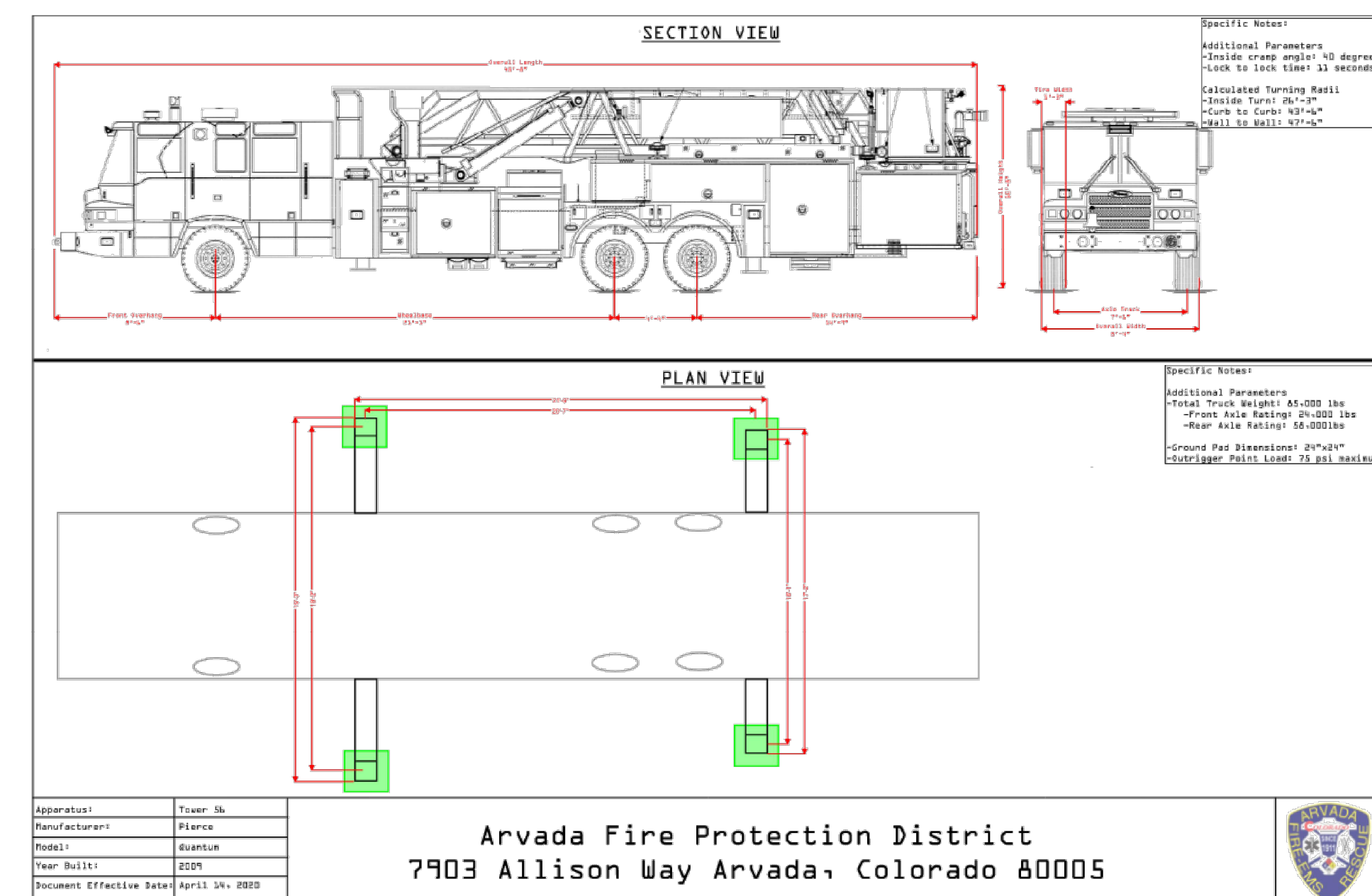
SE CORNER, N 1/2, SE 1/4,
NE 1/4, SW 1/4, SEC.14, T3S,
R69W. (NOT MONUMENTED)

SE CORNER, SW 1/4,
SEC.14, T3S, R69W. FOUND
2" ALUM. CAP (PLS 36053) IN
RANGE BOX MONUMENT
RECORDS ON FILE
(RECORDED JAN 19, 2005)

EAST LINE, NE1/4 SW1/4 OF SECTION 14
S00°22'23"E 986.87'

EAST LINE, SW1/4 OF SECTION 14
S00°22'23"E 1644.78'

Tower 56 Dimensions and Specifications:



10

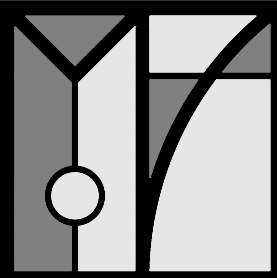
ACTION CIVIL ENGINEERING <u>9777 PYRAMID CT, SUITE 150</u> ENGLEWOOD, CO 80112 720.826.3965 tdenning@actioncivileng.com		TOWER VIEW TOWNHOMES II PUD DEVELOPMENT PLAN			
JOB NO.		1801			
SCALE		----			
DATE		6/19/2022			
SHEETS		09			
SHEET		05			

TOWER VIEW TOWNHOMES II - PUD FINAL DEVELOPMENT PLAN

LOCATED IN THE SOUTH-WEST QUARTER OF SECTION 14, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH P.M.
CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO

revision		
no.	date	by
	4-17-2020	
	11-18-2020	
	1-12-2022	

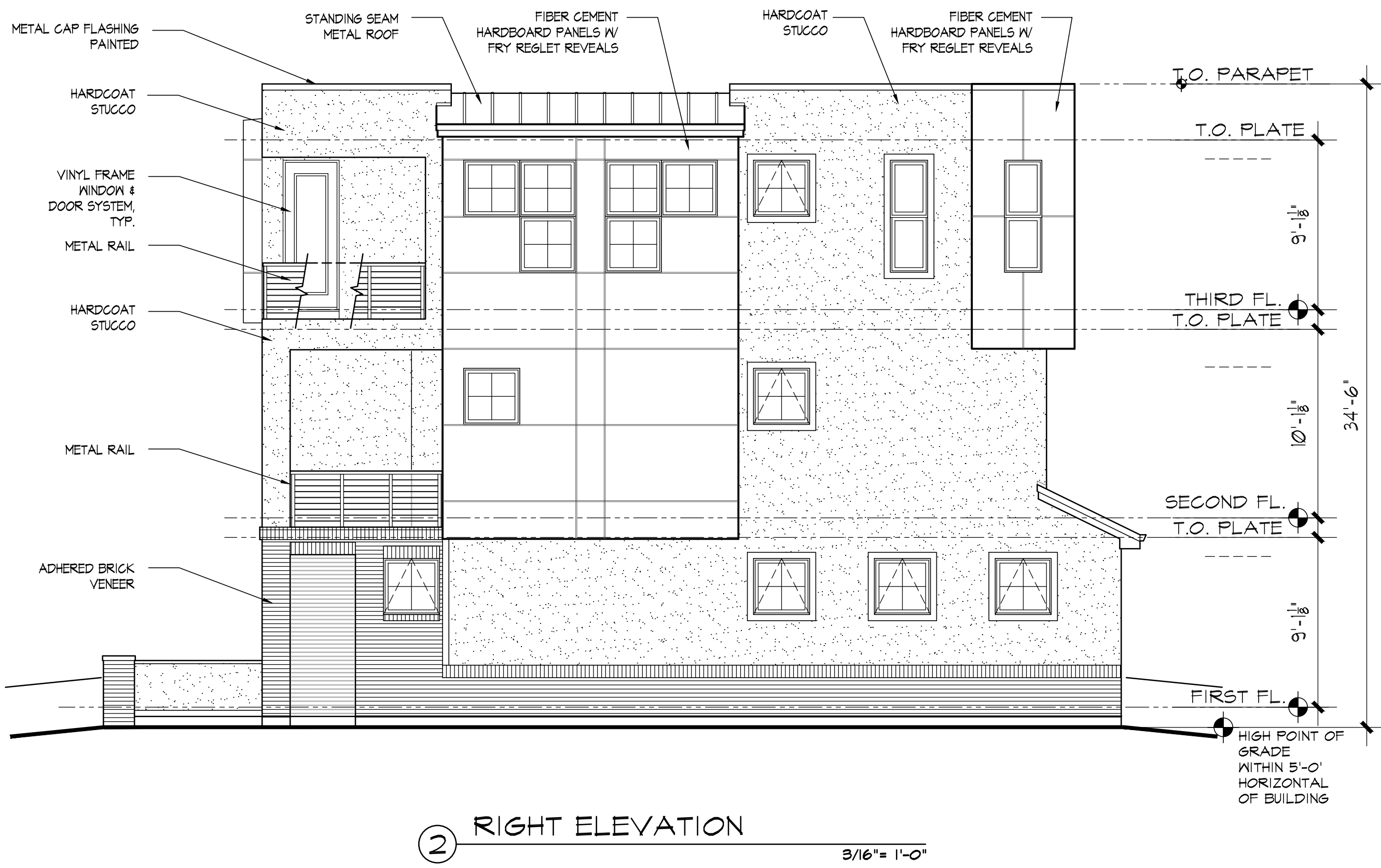
M-A ARCHITECTS



ARCHITECTURE & PLANNING

THE LITTLETON
OFFICE BUILDING

2329 WEST MAIN
STREET SUITE 301
LITTLETON, CO 80120
TEL 303 730 7300
FAX 303 730 8300



- NOTES:
- ALL ROOFTOP AND WALL VENTS AND FLUES ON A PITCHED ROOF OR EXTENDING ABOVE THE TOP OF THE NEAREST PARAPET SHALL BE PAINTED WITH ONE OF THE PREDOMINANT COLORS USED IN THE PRIMARY STRUCTURE.
 - WALL MOUNTED UTILITY EQUIPMINT AND METERS SHALL BE SCREENED FROM VIEW FROM A PUBLIC STREET AND SHALL BE PAINTED A COLOR TO BLEND WITH THE BUILDING FACADE.

Tower View Townhomes II
Arvada, Colorado

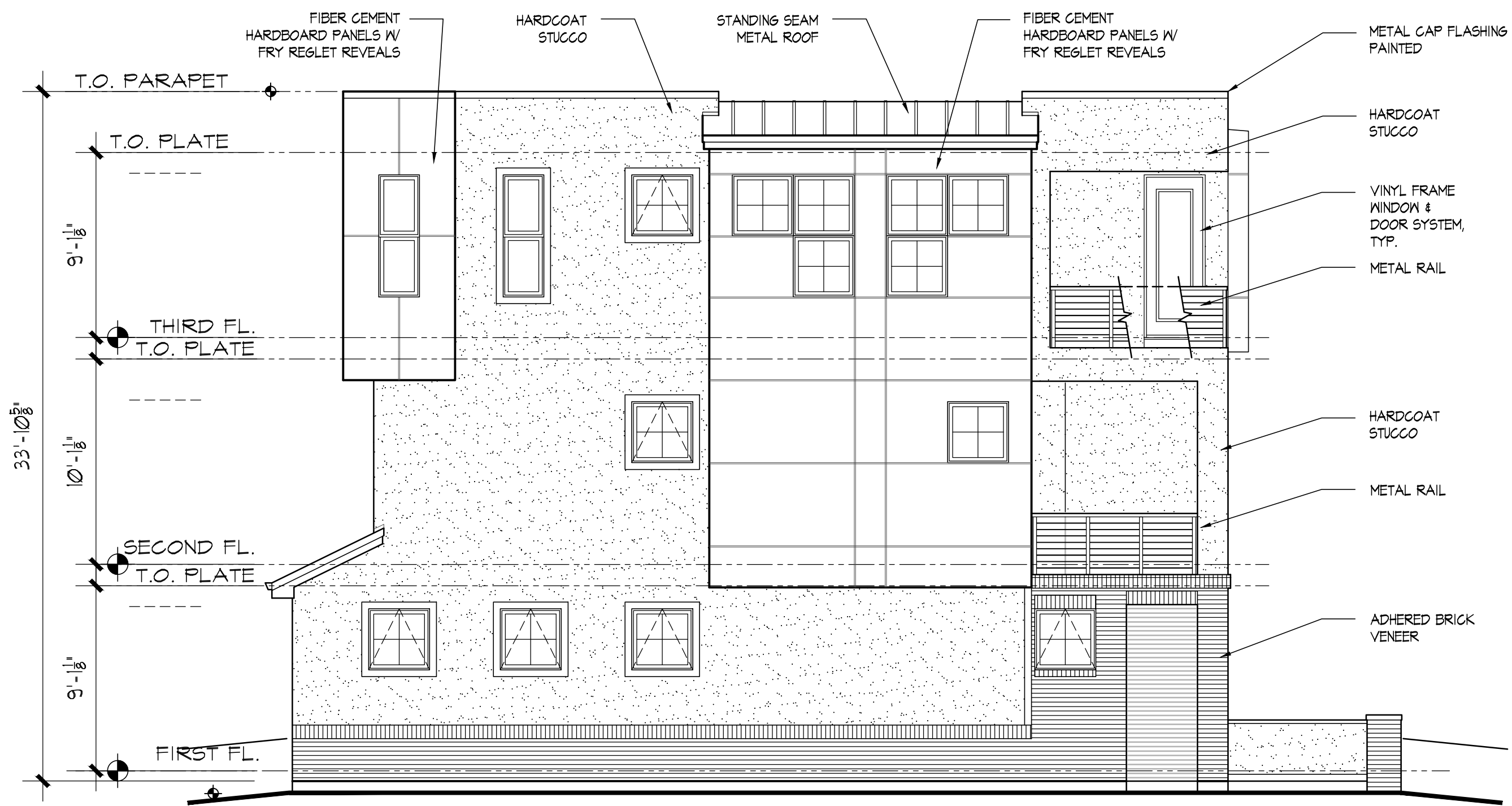
sheet title	FRONT & RIGHT ELEVATIONS
date	12-18-2019
drawn	BE / MEL
checked	
sheet	A1

TOWER VIEW TOWNHOMES II - PUD FINAL DEVELOPMENT PLAN

LOCATED IN THE SOUTH-WEST QUARTER OF SECTION 14, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH P.M.
CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO



① REAR ELEVATION
3/16" = 1'-0"



② LEFT ELEVATION
3/16" = 1'-0"

- NOTES:
- ALL ROOFTOP AND WALL VENTS AND FLUES ON A PITCHED ROOF OR EXTENDING ABOVE THE TOP OF THE NEAREST PARAPET SHALL BE PAINTED WITH ONE OF THE PREDOMINANT COLORS USED IN THE PRIMARY STRUCTURE.
 - WALL MOUNTED UTILITY EQUIPMNT AND METERS SHALL BE SCREENED FROM VIEW FROM A PUBLIC STREET AND SHALL BE PAINTED A COLOR TO BLEND WITH THE BUILDING FACADE.

revision		
no.	date	by
4-17-2020		
11-18-2020		
1-12-2022		

M-A ARCHITECTS

ARCHITECTURE & PLANNING

THE LITTLETON OFFICE BUILDING

2329 WEST MAIN STREET SUITE 301
LITTLETON, CO 80120
TEL 303 730 7300
FAX 303 730 8300

Tower View Townhomes II
Arvada, Colorado

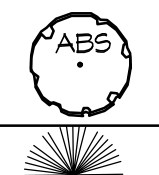
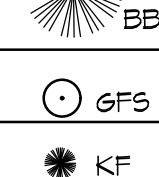
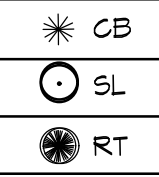
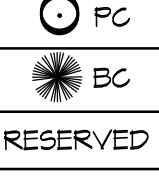
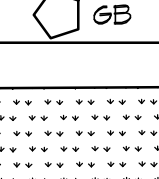
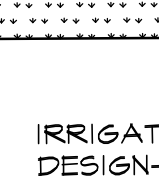
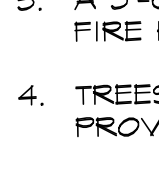
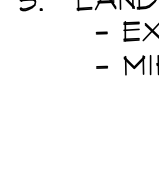
sheet title
REAR & LEFT ELEVATIONS
date
12-18-2019
drawn
BE / MEL
checked
sheet

A2

TOWER VIEW TOWNHOMES II - PUD FINAL DEVELOPMENT PLAN

LOCATED IN THE SOUTH-WEST QUARTER OF SECTION 14, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH P.M.
CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO

revision		
no.	date	by
	4-17-2020	
	11-18-2020	
	1-12-2022	
	6-17-2022	

PLANT LIST				
SYMBOL	QTY.	COMMON NAME	BOTANICAL NAME	SIZE
	3	GINNALA MAPLE (AMUR) WITH ROOT BARRIER -SEE NOTE #2 THIS SHT.	ACER GINNALA	2" GAL.
	3	AUTUMN BRILLIANCE SERVICEBERRY WITH ROOT BARRIER -SEE NOTE #2 THIS SHT.	AMELANCHIER X 'AUTUMN BRILLIANCE'	2" GAL.
	1	BABY BLUE EYES SFRUCE	PICEA FUNGENS	6 FT.
	11	GOLD FLAME SPIREA	SPIRAEA BUMALDA	2 GAL.
	46	KARL FORESTER FEATHER REED GRASS	CALAMAGROSTIS	2 GAL.
	10	BLUE AVENA GRASS	HELIOTOTRICHON SEMPERVIRENS	2 GAL.
• BF	91	BLUE FESCUE	FESTUCA GLAUCA	2 GAL.
	14	MAIDEN GRASS	MISCANTHUS SINENSIS	2 GAL.
CG	17	COLUMNAR BUCKTHORN	RHAMNUS FRANGULA 'COLUMNARIS'	#5
	15	SPIREA LIMEMOUND	SPIRAEA JAPONICA	#5
	6	RED TWIG DOGWOOD	CORNUS SERICEA	#5
	6	PURPLE LEAF SAND CHERRY	PRUNUS x CISTENA	#5
	15	BLUE CHIP JUNIPER	JUNIPERUS HORIZONTALIS	#5
RESERVED				
	24	GRANITE BOULDER		18"-24"

IRRIGATED SOD

1/2" RIVER ROCK COBBLE MULCH (WO/UT NEED BARRIER)
- MATCH EXISTING PHASE I

IRRIGATION TO BE DESIGN-BUILD

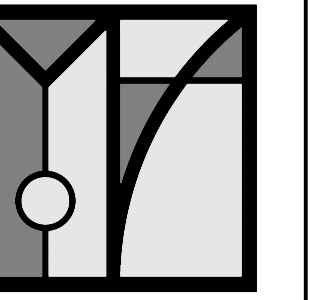
2" TO 4" RIVER ROCK COBBLE MULCH (WO/UT NEED BARRIER)
- MATCH EXISTING PHASE I

AT BIO SWALE

LANDSCAPE NOTES:

1. SEE SHEET L-2 FOR ADDITIONAL LANDSCAPE NOTES AND DETAILS.
2. AT AUTUMN BRILLIANCE SERVICEBERRY AND GINNELLA MAPLE TREES, INSTALL 18" TALL, 20" MIL ROOT BARRIER BY "SIDEWALK SHIELD" (SURROUND APPLICATION). FOLLOW ALL MANUFACTURERS SPECIFICATIONS, INSTRUCTIONS AND RECOMMENDATIONS.
3. A 3'-0" (FOOT) CLEAR SPACE SHALL BE MAINTAINED AROUND ALL FIRE HYDRANTS AND NOT OBSTRUCTED.
4. TREES WITHIN THIS DEVELOPMENT, WHEN FULLY MATURE, SHALL PROVIDE AN UNOBSTRUCTED VERTICAL CLEARANCE OF 13'-6".
5. LANDSCAPE CONSULTANT:
 - EXPRESSIONS LANDSCAPING
 - MIKE BAGDON (303) 913-6448

1-A ARCHITECTS



ARCHITECTURE & PLANNING

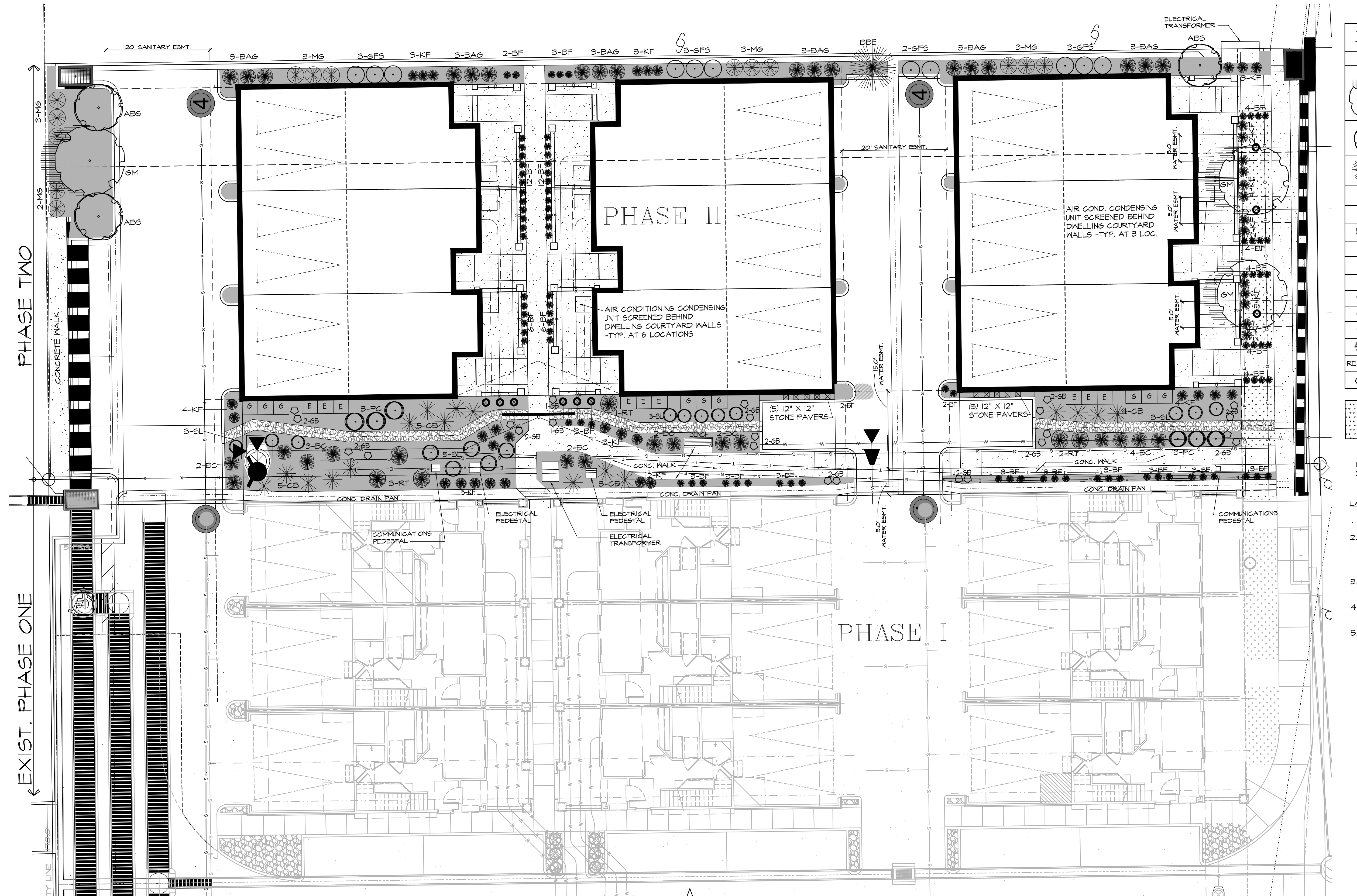
THE LITTLETON
OFFICE BUILDING

2329 WEST MAIN
SUITE 301
FITTLETON, CO 80120
TEL 303 730 7300
FAX 303 730 8300

Lower View Townhomes II

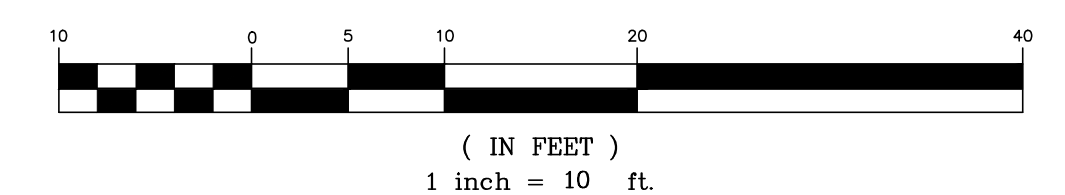
Arvada, Colorado

et title
OSCAPE PLAN
12-18-2019
vn
BE / MEL
cked
et
L-1



LANDSCAPE PLAN

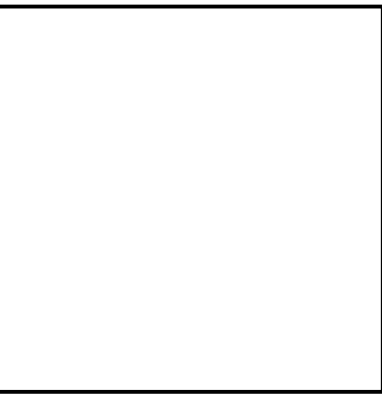
GRAPHIC SCALE



TOWER VIEW TOWNHOMES II - PUD FINAL DEVELOPMENT PLAN

LOCATED IN THE SOUTH-WEST QUARTER OF SECTION 14, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH P.M.
CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO

revision		
no.	date	by
	4-17-2020	
	11-18-2020	
	1-12-2022	
	6-17-2022	



M-A ARCHITECTS

ARCHITECTURE & PLANNING

THE LITTLETOWN
OFFICE BUILDING

2329 WEST MAIN
STREET SUITE 301
LITTLETON, CO 80120
TEL 303 730 7300
FAX 303 730 8300

Tower View Townhomes II

Arvada, Colorado

sheet title

LANDSCAPE NOTES

4 DETAILS

date

12-18-2019

drawn

BE / MEL

checked

sheet

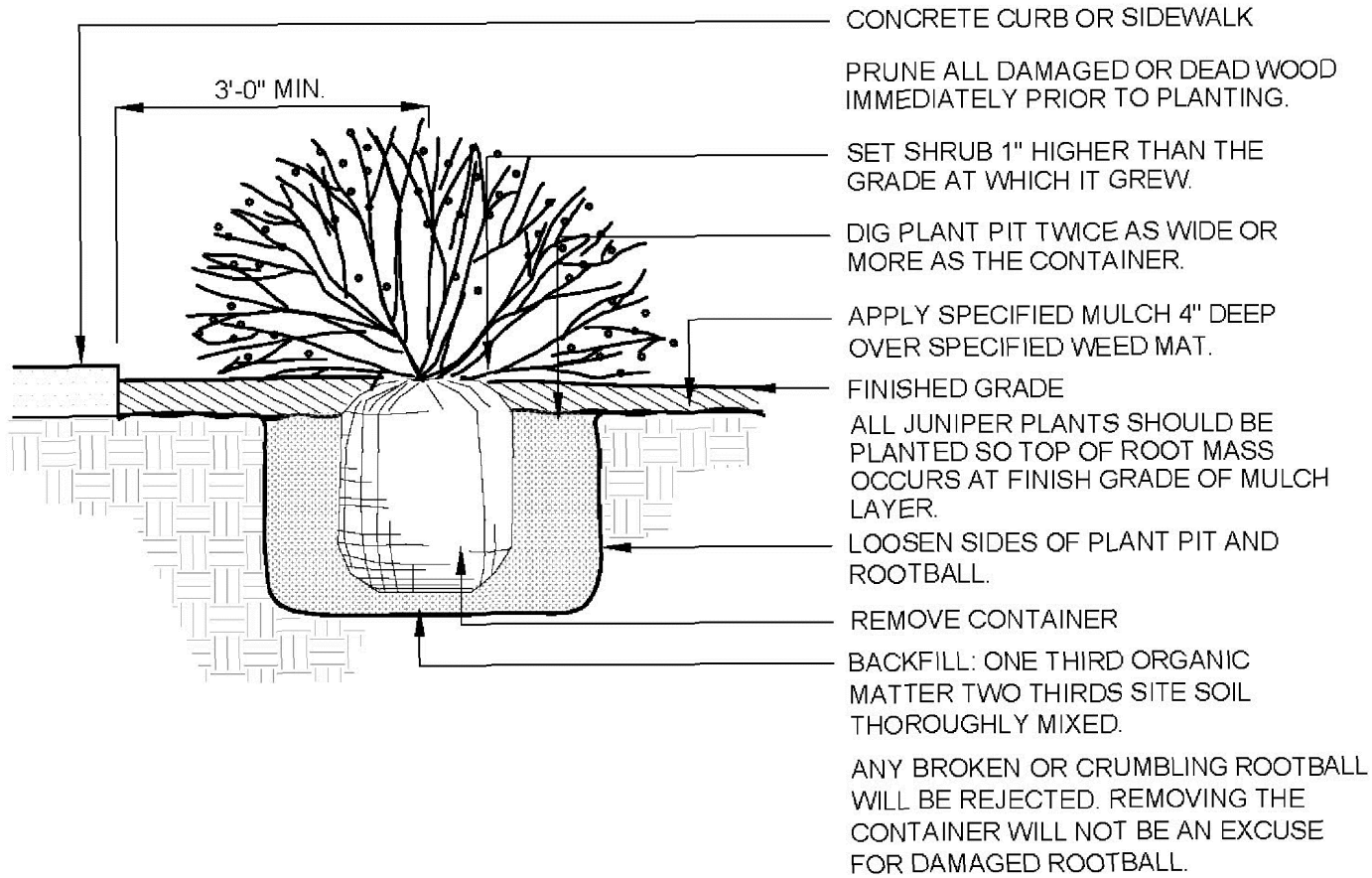
L-2

LANDSCAPE NOTES

- COORDINATION
THIS LANDSCAPE ARCHITECTURAL SITE PLAN IS TO BE USED IN CONJUNCTION WITH THE CIVIL, ARCHITECTURAL, MECHANICAL, ELECTRICAL, STRUCTURAL AND IRRIGATION PLANS AND SPECIFICATIONS TO FORM COMPLETE INFORMATION REGARDING THIS SITE.
- COMPLIANCE
CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES.
- GUARANTEE
ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR ONE YEAR, FROM DATE OF FINAL ACCEPTANCE, AT NO ADDITIONAL COST TO THE OWNER.
- COMPLETION AND MAINTENANCE
A. FINAL ACCEPTANCE: WITHIN TEN DAYS OF CONTRACTOR'S NOTICE THAT THE ENTIRE PROJECT IS COMPLETE, THE L.A. SHALL REVIEW INSTALLATION. IF FINAL ACCEPTANCE IS NOT GIVEN, THE L.A. SHALL PREPARE A PUNCH LIST OF PENDING ITEMS. THE PUNCH LIST ITEMS SHALL BE COMPLETED BY THE CONTRACTOR WITHIN TEN CALENDAR DAYS FROM DATE ISSUED. SUBSEQUENT REVIEW AND APPROVAL SHALL SIGNIFY ACCEPTANCE.
B. MAINTENANCE: ALL LANDSCAPING SHALL BE MAINTAINED FROM INSTALLATION TO FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, ROLLING, REGRADING, REPLANTING, DISEASE AND INSECT PROTECTION.
- SITE CONDITIONS
LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. DO NOT PROCEED UNTIL CONDITIONS ARE CORRECTED. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINISHED GRADES AND POSITIVE DRAINAGE IN LANDSCAPE AREAS.
- DAMAGE AND CLEANING
A. CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED DUE TO THIS WORK AT NO ADDITIONAL COST TO THE OWNER.
B. CONTRACTOR SHALL CLEAN ALL AREAS DUE TO THIS WORK AND PROPERLY REMOVE ALL UNUSED MATERIALS FROM SITE.
- RIGHT OF REJECTION
OWNER/LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY MATERIALS AT ANY TIME. ALL PLANT MATERIALS SHALL MEET THE MINIMUM CURRENT "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN. CONTRACTOR SHALL PROVIDE SAMPLES, SPECS., AND OR TAGS FOR ALL MATERIALS.
- SOIL PREPARATION
SOD AND SHRUB BED AREAS SHALL RECEIVE SIX INCHES OF APPROVED TOPSOIL. AMEND SOIL WITH FOUR CUBIC YARDS PER THOUSAND SQUARE FEET OF ORGANIC COMPOST. COMPOST TO HAVE A C/N RATIO BETWEEN 15:1 AND 30:1, LESS THAN 6 mmhos/cm SALT CONTENT, A pH BETWEEN 6.5 AND 8.5, AND OVER 30% ORGANIC MATTER. APPLY 5 LBS. OF 20-10-5 GRANULAR FERTILIZER PER THOUSAND SQ. FEET. ROTOTILL AMENDMENTS AND TOPSOIL TO A DEPTH OF SIX INCHES. VERIFY SOIL PREP SPECIFICATIONS WITH WATER PROVIDER STANDARDS. PROVIDE EVIDENCE OF APPLICATION AS REQUIRED.
- PLANTING
TREES AND SHRUBS SHALL BE PLANTED PER DETAILS. STAKE AND GUY TREES PER DETAILS. TREE AND SHRUB BED LOCATIONS SHALL BE APPROVED PRIOR TO PLANTING. BACKFILL WITH 1/3 SOIL AMENDMENT AND 2/3 SITE SOIL, THOROUGHLY MIXED. FERTILIZE AS RECOMMENDED WITH AGRIFORM TABLETS.
- EDGER
INSTALL 4" ROLL-TOP RYERSON STEEL EDGING (14 GAUGE WITH GREEN FINISH) OR EQUAL. INSTALL WITH STAKES AND SPLICERS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL BETWEEN ALL SOD OR SEEDED AREAS AND MULCHED AREAS.
- MULCH
BARK MULCH SHALL BE WESTERN RED CEDAR PLACED 4" DEEP. STONE MULCH SHALL BE 1 1/2" ROUNDED RIVER ROCK PLACED OVER DEWITT PRO 5 FILTER FABRIC, 3" DEEP. SUBMIT SAMPLES.
- SODDING
SOD SHALL BE "RTF" FESCUE BY GREEN VALLEY TURF (GVT) (303-798-6764), OR MATCH EXISTING. SOIL PREP., INSTALL AND WATER ACCORDING TO GVT GUIDELINES.
- MAINTENANCE
THE PROPERTY OWNER OF RECORD, THE OWNER'S AGENT OR TENANT SHALL KEEP ALL LANDSCAPING IN A WELL MAINTAINED AND HEALTHY GROWING CONDITION.

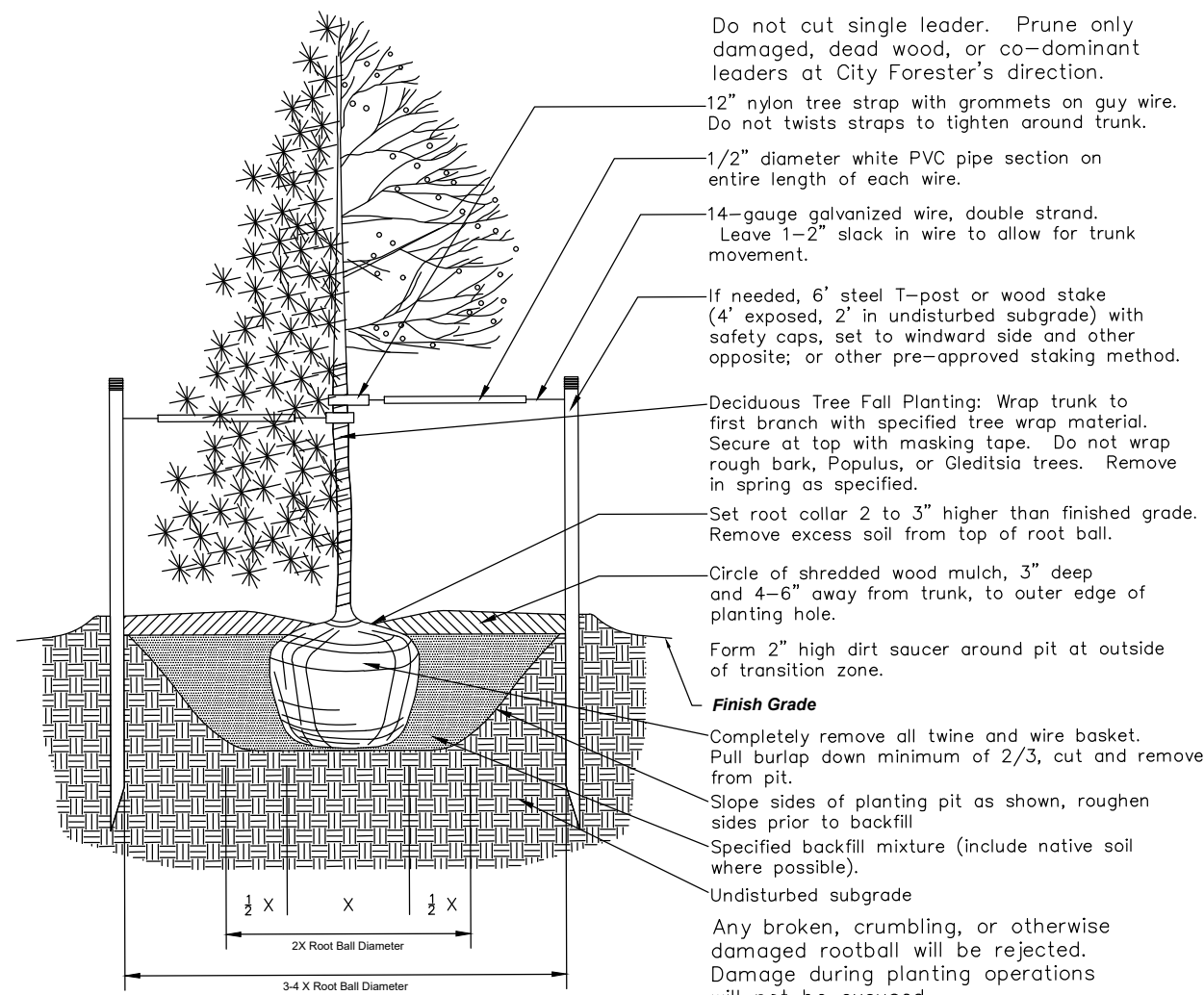
IRRIGATION NOTES:

- THE LANDSCAPE PLAN SHALL LABEL OR NOTE THE TYPE OF IRRIGATION TO BE APPLIED TO EACH PLANT HYDROZONE TO ENSURE THAT PLANTS RECEIVE ONLY THE NEEDED WATER. IN ADDITION, THE PLAN SHALL INCLUDE:
- A RAIN SENSOR WITH AUTOMATIC SHUT-OFF OF THE SYSTEM DURING PERIODS OF HIGH MOISTURE
 - A DRIP, SUB-SURFACE, BUBBLER OR LOW VOLUME IRRIGATION SYSTEM FOR ALL PLANTING STRIPS LESS THAN EIGHT FEET WIDE, AND ALL PLANTING BEDS INVOLVING TREES, SHRUBS, PERENNIALS, AND GROUND COVER.
 - AN IRRIGATION CLOCK THAT ALLOWS PROGRAMMING TO MEET THE DIFFERENTIAL NEEDS OF THE SPECIFIED PLANTING PLAN.



SHRUB PLANTING DETAIL

SCALE: NONE



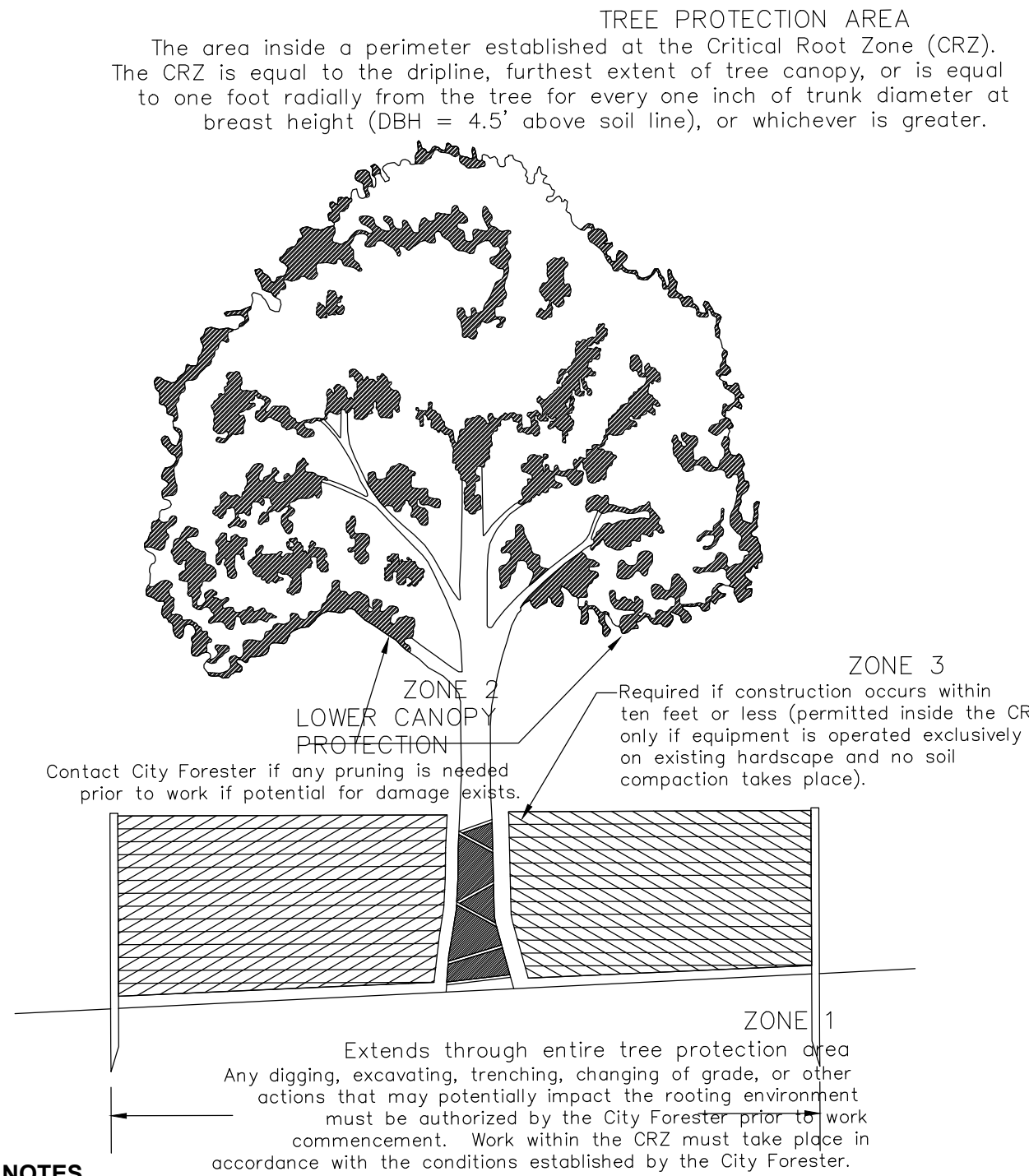
Trees planted in the Public Right of Way (PRW) are subject to the following restrictions:

- A permit is required to plant in the PRW; permits are free from the City Forester's office.
- Only trees from City Forester's approved street tree list or trees approved by the City Forester's office shall be planted in the PRW.
- For a list of prohibited or suspended PRW trees, see City Forestry website or call the Forestry office.
- If overhead utility wires exist in the PRW, only ornamental or trees maturing at 20 (twenty) feet maximum shall be planted.
- Trees shall be centered in tree lawns and/or planting areas.
- Trees shall not be planted in tree lawns less than five feet wide.
- Where sidewalks are not present, trees shall be located as designated by City Forester.
- Planting in corner triangle formed by the first 30 (thirty) feet along the PRW line in each direction from 1 is not permitted.
- Planting within 10 (ten) feet of alleys, driveways, or fire hydrants is not permitted.
- Planting within 20 (twenty) feet of stop signs or street lights is not permitted.
- Planting within five feet of water meters or pits is not permitted.
- Large shade trees shall be spaced 35 (thirty-five) feet o.c. and ornamental trees 25 (twenty-five) feet o.c. designated by Forestry.
- Trees shall be pruned to maintain a clearance of 13'-6\"/>

Prior to digging, the Utility Notification Center of Colorado shall be contacted at 811 to locate underground ut

TREE PLANTING DETAIL

SCALE: NONE



NOTES

- When working near a protected tree, City Tree Retention and Protection Specification be followed.
- Damage to protected trees is subject to penalty per City Ordinance.
- Fencing shall be a minimum of 48 (forty-eight) inches in height.
- Fencing material shall be specified by City Forester. Typically, chain link fencing is
- "Tree Protection Area" signs shall be attached to fencing every 50 (fifty) feet.
- The Tree Protection Area shall not be modified or removed prior to consent of the
- Materials, debris, equipment, and site amenities shall not be stored within the Tree
- Entrance to the Tree Protection Area is not permitted without consent of the City i

TREE PROTECTION DETAIL

SCALE: NONE